

# ∞ AGENDA ∞

## **MARQUETTE CITY PLANNING COMMISSION** **Tuesday, May 5, 2026, at 6:00 p.m.** **Room 103, Municipal Service Center at 1100 Wright Street**

### **MEETING CALLED TO ORDER**

- 1) ROLL CALL
- 2) APPROVE AGENDA
- 3) APPROVE MINUTES: **Minutes of 04-21-26**
- 4) CONFLICT of INTEREST



1. PUBLIC HEARINGS
2. CITIZENS WISHING TO ADDRESS THE COMMISSION ON AGENDA ITEMS
3. OLD BUSINESS
4. NEW BUSINESS
  - A. 04-SPR-05-26 – 1101 W US 41 (PIN: 0514233)**
5. CITIZENS WISHING TO ADDRESS THE COMMISSION ON NON-AGENDA ITEMS
6. CORRESPONDENCE, REPORTS, MINUTES OF OTHER BOARDS/COMMITTEES
7. TRAINING
8. WORK SESSION ON REPORTS/PLANS/ORDINANCES
  - A. Land Development Code Amendments**
9. COMMISSION AND STAFF COMMENTS
10. ADJOURNMENT

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### **PUBLIC COMMENT**

A member of the audience speaking during the public comment portion of the agenda shall limit his/her remarks to 3 minutes. Time does not need to be reserved for an item of business listed on the agenda, or otherwise addressed under Item #2, as time is provided for public comment for each item of business.

### **PUBLIC HEARINGS**

The order of presentation for a public hearing shall be as follows:

- a. City Staff/Consultants
- b. Applicant
- c. Correspondence
- d. Public Testimony
- e. Commission Discussion (Commissioners must state any Ex-Parte contact or Conflicts of Interest prior to engaging in any discussions), if it occurred, prior to entering into discussion or voting on a case).

**OFFICIAL PROCEEDINGS**  
**MARQUETTE CITY PLANNING COMMISSION**  
**April 21, 2026**

A regular meeting of the Marquette City Planning Commission was duly called and held at 6:00p.m. on Tuesday, April 21, 2026, in the Commission Chambers at City Hall.

**ROLL CALL**

Planning Commission (PC) members present (7): M. Rayner, N. Vermaat, D. Fetter, J. Fitkin, S. Lawry, Vice-Chair A. Wilkinson, Chair Kevin Clegg

PC Members absent: J. Guter

Staff present: City Planner and Zoning Administrator D. Stensaas; Zoning Official A. Landers.

**AGENDA**

*It was moved by S. Lawry, seconded by M. Rayner, and carried 7-0 to approve the agenda as presented.*

**MINUTES**

The minutes of the 4/07/2026 meeting were approved by consent with two corrections as annotated by S. Lawry.

**CONFLICT OF INTEREST**

Nobody stated a conflict.

**CITIZENS WISHING TO ADDRESS THE COMMISSION ON AGENDA ITEMS**

Nobody provided comments.

**CITIZENS WISHING TO ADDRESS THE COMMISSION ON NON-AGENDA ITEMS**

Nobody provided comments.

**WORK SESSION ON REPORTS/PLANS/ORDINANCES**

**A. Land Development Code (LDC) Amendments**

D. Stensaas presented the work session materials, as presented in the published agenda, on the monitors and addressed each of the items. The Planning Commission asked several questions and discussed these potential LDC changes for approximately thirty minutes.

There was a discussion about the coming changes to the City Code concerning grass, weeds, and planned natural landscapes, and the possibility of a companion policy for the use of right-of-way areas adjacent to private property. D. Stensaas said that he previously drafted a policy for right-of-way use, to clarify what is and isn't acceptable to be placed or planted in a right-of-way, and that the Community Development Department will be revisiting that and working on it so that both the property owners and City departments that deal with items in the right-of-way regularly will have clear direction and expectations.

S. Lawry said, regarding item 54.618, that the Public Works Department used to publish ads to notify the community to remove items from the right-of-way in the fall, and supervisors would often contact some homeowners to remove things, or they would mark them so that plows would go around them.

**OFFICIAL PROCEEDINGS**  
**MARQUETTE CITY PLANNING COMMISSION**  
**April 21, 2026**

He said that it would be good to state that certain items can encroach to within so many feet or a curb or from the sidewalk, and that coordinating notices with the winter parking ban announcement would probably be helpful for compliance. He also said that staff might review the wording used in the draft amendment to section 54.905(E), and possibly use a term other than "improved" for the right-of-way requirement, and that consideration of Act 51 status may be relevant to this standard. D. Stensaas said that he would speak with the City Engineer about it.

**COMMISSION and STAFF COMMENTS**

J. Fitkin said that she is still working on potential amendments to the tree list in Figure 59, and said that she was particularly concerned with *Columnar Norway Maple* and *Japanese Lilac* being in the list.

D. Stensaas said there will be a Site Plan Review at the first meeting in May, for a new site plan for the GMC dealership that is moving across the highway at McClellan Avenue. He explained that they want to change some aspects of the site plans, and since they had not submitted a site plan that met the conditions of approval for the first site plan that was reviewed by the Planning Commission, they had to either do that before they could submit an application for revisions or submit an application for a new site plan to be approved.

**ADJOURNMENT**

K. Clegg adjourned the meeting at 7:30 p.m.

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Prepared by D. Stensaas, Planning Commission Staff Liaison (transcription and editing).



CITY OF MARQUETTE  
**PLANNING AND ZONING**  
1100 WRIGHT ST  
MARQUETTE, MI 49855  
(906) 228-0425  
www.marquettetemi.gov

## **MEMORANDUM**

**TO:** Planning Commission  
**FROM:** Andrea Landers, Zoning Official  
**DATE:** April 23, 2026  
**SUBJECT:** 04-SPR-05-26 – 1101 W US 41 (PIN: 0514233)

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Staff have reviewed the proposed amended site plan for the construction of a new commercial building, new parking lot, dumpster enclosure, landscaping, and site improvements for 1101 W US 41, and have provided comments regarding the plan. They have provided a memo stating the revisions.

Please see attached STAFF REPORT/ANALYSIS packet for more specific information regarding the site plan.

### **Recommended Action:**

The Planning Commission should review the site plan and support information provided in this packet and determine whether or not the site for the construction of a new commercial building, new parking lot, dumpster enclosure, landscaping, and site improvements for (04-SPR-05-26) is in compliance with the City of Marquette Land Development Code, more specifically, the Site Plan Review Standards in Section 54.1402(E).

Staff also recommends that the Planning Commission consider appropriate conditions of approval to ensure that any comments provided by staff and which the Planning Commission concurs with and have not been answered by the developer, are addressed.

As always, it is highly recommended that any motion regarding the amended plan include:

*After review of the site plan and the supplemental documentation dated 04-07-26, and the Staff Report for 04-SPR-05-26, the Planning Commission (finds/does not find) substantial compliance with the City of Marquette Land Development Code, the Site Plan Review Standards in Section 54.1402(E), and hereby (approves/denies) the site plan (as presented/with the following conditions).*

**Staff recommends the following condition of approval - that an amended plan is submitted to meet staff comments.**



# STAFF FILE REVIEW/ANALYSIS

Completed by Andrea Landers – Zoning Official

Reviewed by David Stensaas – City Planner and Zoning Administrator

**File #:** 04-SPR-05-26

**Date:** April 23, 2026

**Project/Application:** Final Site Plan Review for the construction of a new commercial building, new parking lot, dumpster enclosure, landscaping, and site improvements.

**Location:** 1101 W. US HWY 41

**Parcel ID:** 0514233

**Available Utilities:** Electricity, City Water, City Sewer, Natural Gas, and Garbage Collection.

**Surrounding Zoning:**  
 North: GC- General Commercial  
 South: GC- General Commercial  
 East: LDR – Low Density Residential  
 West: RC- Regional Commercial & GC- General Commercial

## **Zoning District and Standards (Staff Comments in Bold Text):**

### 54.314 RC, Regional Commercial District

<b>(A) Intent</b>
The RC district is intended to provide suitable areas for businesses that cater primarily to the regional market. As such, lots in the RC district are typically larger lots located along or near US-41/M-28/W. Washington Street. Although this district is accessible primarily by automobile, its location along major corridors and in close proximity to residential areas requires site accessibility by pedestrians.

<b>(B) Permitted Principal Uses</b>	<b>(C) Special Land Uses</b>
<ul style="list-style-type: none"> <li>• Accessory Building or Structure</li> <li>• Accessory Use, Non-Single Family Residential Lots</li> <li>• Bar</li> <li>• Child Care Center or Day Care Center</li> <li>• Drive-Through Uses</li> <li>• Emergency Services</li> <li>• Farmers’ Markets</li> <li>• Food Production, Minor</li> <li>• Fuel Dispensing Uses, including Service Stations</li> <li>• Health Services</li> <li>• Heavy Vehicle/Equipment Sales, Rental, and Display</li> <li>• Hospice</li> <li>• Hotel or Motel</li> <li>• Indoor Recreation</li> <li>• Light Vehicle/Equipment Sales and Display</li> </ul>	<ul style="list-style-type: none"> <li>• Hospital</li> <li>• Manufacturing, Light – Medium Impact</li> <li>• Marihuana Educational Research</li> <li>• Marihuana Grower – Class A</li> <li>• Marihuana Grower – Class B</li> <li>• Marihuana Grower – Class C</li> <li>• Marihuana Grower – Excess</li> <li>• Marihuana Microbusiness – Class A and Light Manufacturing</li> <li>• Marihuana Processor – Light Manufacturing</li> <li>• Marihuana Retailer</li> <li>• Marihuana Safety Compliance Facility</li> <li>• Marihuana Secure Transporters</li> <li>• Off-street Parking Lot</li> <li>• Outdoor Entertainment and Community Events</li> </ul>

## STAFF FILE REVIEW/ANALYSIS

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<ul style="list-style-type: none"> <li>• Manufacturing, Light – Low Impact</li> <li>• Medical Hospital Related Accessory Uses</li> <li>• Medical Hospital Related Office or Uses</li> <li>• Office, Medical</li> <li>• Office, Professional</li> <li>• Outdoor Alcoholic Beverage Service</li> <li>• Outdoor Entertainment and Community Events (Temporary Use)</li> <li>• Outdoor Food and Non-Alcoholic Beverage Service</li> <li>• Outdoor Recreation</li> <li>• Public or Governmental Building</li> <li>• Religious Institution</li> <li>• Restaurant, Indoor Service</li> <li>• Restaurant with Outdoor Food &amp; Non-Alcoholic Beverage Service</li> <li>• Restaurant with Outdoor Alcoholic Beverage Service</li> <li>• Retail Business, Indoor</li> <li>• Retail Sales and Service Areas, Outdoor Temporary</li> <li>• Service Establishment</li> <li>• Shooting Range, Indoor</li> <li>• Small Wind Energy Systems, Roof-Mounted</li> <li>• Solar Energy Systems, &lt;20kw- Accessory Use</li> <li>• Solar Energy Systems, ≥20kw to 2 MW - Principal Use (Non-residential)</li> <li>• Storage Facility, Self</li> <li>• Storage Facility, Self- Accessory Use</li> <li>• Storage Indoor</li> <li>• Storage Indoor – Accessory Use</li> <li>• Storage, Open/Outdoor</li> <li>• Vehicle Repair and Service</li> <li>• Veterinary Clinic (Domestic Animals Only)</li> <li>• Wholesale Trade Establishment</li> </ul>	<p>(Principal &amp; Accessory Use)</p> <ul style="list-style-type: none"> <li>• Pet Boarding Facility</li> <li>• Recreational Use, Public</li> <li>• Retail Business, Outdoor Permanent</li> <li>• Small Wind Energy Systems, Tower-Mounted</li> <li>• Solar Energy Systems, ≥20kw to 2 MW - Accessory Use</li> <li>• Storage, Bulk</li> <li>• Warehousing/Storage Facilities</li> <li>• Wholesaling Operations</li> <li>• Wireless Telecommunications Facilities</li> </ul>
<p>Where there is a discrepancy between <a href="#">Section 54.306</a> and this table, <a href="#">Section 54.306</a> shall prevail.</p>	

### Indoor Retail Business, Vehicle Repair and Service, and Light Vehicle/Equipment Sales and Display are Permitted Principal Uses

Dimensional Regulations	Allowed	Provided
Front Yard	30 Feet	+30-ft
Side Yard	15 Feet	+15-ft
Side Yard total of 2	30 Feet	+30-ft
Rear Yard	20 Feet	+30-ft
Min. Lot Size	None	196,732 S.F.
Min. Lot Width	24 Feet	+24 Feet
Max Building Height of Primary Building ( <i>P</i> )	40 Feet	24-ft 2-in
Max Building Height of Accessory Building ( <i>L</i> )	18 Feet	N/A

## Section 54.403 Footnotes to Schedule of Regulations

**(L) Accessory Buildings and Structures.** For accessory buildings and structures, additional requirements for side yard setbacks, rear yard setbacks, and height are in [Section 54.705](#).

**(Q) Height Exemptions.** There shall be no height restriction on chimneys, flagpoles, public monuments, and wireless telecommunications facilities except when they are part of a special land use. Items attached to a building such as chimneys, weather vanes, lightning arrestors, etc. may be exempt as well.

**(S) Storm Water Management.**

**(1)** For Single-family and Two-family dwelling units:

**(a) Maximum Impervious Surface Coverage of a Lot in the LDR and MDR Districts, and single-family and two-family dwelling units in other zoning districts:** The maximum impervious surface coverage of a lot in the LDR and MDR Districts, and single-family and two-family uses in all other zoning districts shall be based on the lot areas as follows:

Figure 31. Maximum Impervious Surface Coverage for one and two-family dwelling units

Maximum Impervious Surface Coverage Based on Lot Area
60% of the lot area up to 8,712 sq. ft. (1/5 acre or less);
50% of the area of the lot between 8,713 sq. ft. and 21,780 sq. ft. (1/2 acre);
40% of the area of the lot between 21,781 sq. ft. and 43,560 sq. ft. (1 acre);
30% of the area of the lot over 1 acre

**(2)** For all uses except Single-family and Two-family dwelling units, please refer to [Section 54.803](#) Storm Water Management.

**Please see their response to engineering comments.**

**(3)** Rain gutters and downspouts may be required on new/reconstructed buildings to prevent stormwater runoff to adjoining private properties. They shall be installed where the finished grade will slope down from the closest wall of the new/reconstructed building to the adjoining property, with flow from the downspout directed to into the same property (e.g. into a rain barrel, a French drain, or to a transverse conduit leading to a location where stormwater will percolate into the original property).

**(T) Landscape Buffer and Greenbelt Requirements.** The minimum setbacks vary in accordance with the landscape buffer and greenbelt standards of [Section 54.1003\(D\)](#).

**Please see their response to zoning comments to Sheet C-04.**

**(U) Corner Lots.** Corner lots will have a reduced rear yard setback, to match that of the largest required side yard setback dimension for the zoning district that is necessary to meet the total of two sides requirement for that zoning district. For example, if the total (2-side) side yard setback requirement is 13 feet per [Sec. 54.402](#), and the smallest side yard setback must be at least 5 ft. (as in MDR districts), then the *rear yard dimension for a corner lot* will be the difference between 13 ft. and the calculated dimension for the actual smallest side yard setback – which would be 8 ft. if the smallest side yard setback from the

## STAFF FILE REVIEW/ANALYSIS

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main structure is calculated to be 5 feet (Note: It is important to note that should the existing structure's side yard setback be less than 5 feet, that side yard will still be designated as the minimum setback at 5 feet.)

**Section 54.903 Minimum Number of Parking Spaces Required (Staff Comments in Bold Text):**

(3) Establishments for the Sale of Motor Vehicles, Trailers, and Large Equipment of any sort	One (1) space for each 1,000 square feet of floor area, minimum of two (2) spaces
(2) Auto service stations and repair garages	One (1) space for every 300 square feet of interior office/sales/waiting room floor area plus two (2) spaces per service stall.

**Please see their response to zoning comments to Sheet C-01.**

(H) Maximum Parking Allowed. In order to minimize excessive areas of pavement which depreciate aesthetic standards and contribute to higher rates of storm water runoff and higher micro temperatures, exceeding the minimum parking space requirements of Section 54.903 by greater than twenty percent (20%) is prohibited, except as approved by the Planning Commission or Zoning Administrator (see Article 14). In its request for additional parking spaces, the applicant must submit a parking study to the Planning Commission or Zoning Administrator (see Article 14) demonstrating that additional parking spaces are needed based on the nature of the use and/or peak times thereof. In determining whether to grant additional parking spaces, the Planning Commission shall also consult the most recent edition of the Parking Generation, published by the ITE, or other acceptable standard.

**The proposal exceeds the minimum parking space requirements of approximately 15 spaces for the use calculations. With 139 spaces for the vehicle display. Please see their response to zoning General Comments and Sheet C-01.**

**54.908 Bicycle Parking Requirements and Parking Space Reduction/Substitution for Bicycle Parking**

2 spaces + 1 additional space/10,000 sq. ft. of floor area + 1 sheltered space / 20 employees per shift(part-time or full-time)

**No proposed bicycle parking is shown. Please see their response to zoning General Comments.**

**Relationship to Site Plan Review Standards (Staff Comments in Bold Text):**

Per Section 54.1402(E) of the Land Development Code, "Site Plan Review Standards. In addition to the development standards of this Ordinance as well as the underlying zoning district, each site plan shall be designed to ensure that":

- (1) Public Health, Safety, and Welfare. The uses proposed will not harm the public health, safety, or welfare. All elements of the site plan shall be designed to take into account the site's topography, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and ordinary development or improvement of surrounding property for uses permitted in this Ordinance.

**The proposed site plan is for the construction of a new commercial building, new parking lot, dumpster enclosure, landscaping, and site improvements. The proposal is not anticipated to harm the public health, safety, or welfare.**

- (2) Safe and Efficient Traffic Operations. Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, and other elements such as walkways shall be designed to promote safe and efficient traffic operations within the site and at its access points.

**The site plan indicates one proposed/existing driveway from McClellan Ave, which directs traffic to the parking lots and buildings.**

- (3) Vehicular and Pedestrian Circulation. The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned street and pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, shopping centers, and other uses which generate a considerable amount of pedestrian traffic.

**There is a proposed/existing driveway entrance along McClellan Avenue. There is a proposed sidewalk along some sides of the proposed building. MDOT's staff at the Ishpeming Service Center will review the Site Plan for compliance with MDOT access management regulations, and the Corridor Advisory Committee may review the Site Plan, although both were done previously with the first Site Plan.**

- (4) Topography and Landscaping. The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Ordinance. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding property.

**Landscaping details are provided on Sheet C-04. Please see Zoning comments and applicants' responses regarding the proposed landscaping for Sheet C-04.**

- (5) Storm Water Management. Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Surface water on all paved areas shall be collected so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

**They are proposing storm water management. Please see their responses to engineering comments.**

- (6) Emergency Vehicle Access. All buildings or groups of buildings shall be arranged so as to permit emergency vehicle access as required by the Fire Department and Police Department.

**The Police have reviewed the plans and have no comment.**

- (7) Outdoor Storage and Loading and Unloading Areas. All outside storage areas, including refuse storage stations, shall be screened from the view of the street and/or adjacent residentially zoned properties. All loading and unloading areas shall be reasonably screened for residentially zoned properties.

**Per the site plan application sheet C-01, they will store their trash and used tires inside a proposed dumpster area enclosure that will consist of a 6-ft high black vinyl coated chain link fence and gates with pvc slats.**

- (8) Lighting. Exterior lighting shall be arranged so that it is deflected away from adjacent properties and bodies of water so that it does not impede the vision of traffic along adjacent streets or impair navigation on the waterway. Flashing or intermittent lights shall not be permitted.

**They will need to revise the site plan to meet the Land Development Code Article 8 requirements. Please see their responses to Zoning Comments.**

- (9) Location of Building Entrances. For consistency in areas where adjoining properties face the street, the Planning Commission may require that primary structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.

**The building's main entrances face towards the McClellan, US HW 41 and the parking lot.**

- (10) Nuisances. No noise, vibration, dust, fumes, or other nuisance shall leave the property in a manner that affects the surrounding area.

**It is not anticipated that this development will be a nuisance to surrounding properties.**

(11) City of Marquette Engineering Design and Construction Standards. The site plan must comply with the City of Marquette Engineering Design and Construction Standards.

**This must be met.**

**Relationship to Community Master Plan (CMP):**

One of the CMP's six guiding principles is "Encourage development and vibrancy in our commercial districts and corridors."

**D. Encourage development and vibrancy  
in our commercial districts and corridors.**

The City of Marquette is an economic and cultural asset to the surrounding region and is where water, sewer, and transportation infrastructure is concentrated. City policy should encourage new development, infill/redevelopment, and multi-family residential development in the commercial areas of the city to support small businesses, job creation, increase the city tax base, and maximize the use of existing infrastructure.

**Attachments:**

- Site Plan Review Application with narrative
- Revision Memo
- PD, Arborist, and Fire Staff comments
- Applicant's responses to Engineering and Zoning Staff comments
- Area Map
- Block Map
- Photos
- Site plan

**PRINT**

**CITY OF MARQUETTE  
SITE PLAN REVIEW APPLICATION**



**CITY STAFF USE**

Parcel ID #: 0514233 File #: 04-SPR-05-26  
Receipt/Inv #: 537442 Check #: 68063 Received by and date: 4-7-26 AM  
Site Plan Sheet Set (PC Review - 6 copies/Admin Review - 3 copies) Submitted:  Y/N Digital Copy:  Y/N  
If applicable - Hearing Date: 5-5-26 Notice Date: N/A Application complete (checklist, etc): Y / N  
Does the site plan meet the required items: Y / N

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED, THE SITE PLAN REVIEW REQUEST WILL NOT BE SCHEDULED FOR A HEARING UNTIL IT HAS BEEN VERIFIED THAT ALL OF THE INFORMATION REQUIRED IS PRESENT AT THE TIME OF THE APPLICATION - NO EXCEPTIONS!**

**Businesses may need to be made accessible to the public and employees per the Americans with Disabilities Act and State Construction Code.**

**FEE SCHEDULE (We can only accept Cash or Check (written to the City of Marquette))**

Commercial, Industrial, Residential with 3 or more units, and Final PUD Site Plan (includes zoning compliance fee)	
<input type="checkbox"/> Sketch Plan	\$1,005
<input type="checkbox"/> Preliminary SPR	\$1,990
<input type="checkbox"/> Administrative Review (CDRT review)	\$2,185
<input type="checkbox"/> Administrative Review (Non-CDRT review)	\$1,145
<input type="checkbox"/> Planning Commission Review	\$2,495
Revised Site Plan (Developer Initiated)	
<input type="checkbox"/> Administrative Review (CDRT)	\$1,645
<input type="checkbox"/> Administrative Review (Non-CDRT review)	\$1,110
<input checked="" type="checkbox"/> Planning Commission Review	\$1,900

Site Condominium	
<input type="checkbox"/> Site Condominium Review	\$2,855
<input type="checkbox"/> Revised (Developer Initiated)	\$1,045
Plats/Subdivision	
<input type="checkbox"/> Preliminary	\$2,930
<input type="checkbox"/> Final	\$4,450
<input type="checkbox"/> Revised (Developer Initiated)	\$1,535

Site Plan Review fee is included in the Special Land Use Permit or Planned Unit Development application fees

**If you have any questions, please call 228-0425 or e-mail [elenders@merquettemi.gov](mailto:elenders@merquettemi.gov). Please refer to [www.merquettemi.gov](http://www.merquettemi.gov) to find the following information:**

Planning Commission page for filing deadline and meeting schedule  
Excerpts from the City Land Development Code

- Section 54.1402 Site Plan Review (this is attached to the application).
- Section 54.1401 Zoning Permits and Zoning Compliance Review.
- If you are applying for a Site Condominium/Plat/Subdivision, please review Article 5.

**STORMWATER**

**Will you be managing stormwater and applying for a stormwater utility fee reduction?**  Yes  No  
If yes, please refer to the Stormwater Utility Fee Reduction Application on the City website at [www.merquettemi.gov](http://www.merquettemi.gov) under the Engineering applications.

**MDOT Review**

## PRE-APPLICATION CONFERENCE

It is strongly encouraged that all applicants and their representatives meet with City of Marquette staff prior to submitting an application for a Site Plan Review. A pre-application meeting with staff allows for a preliminary review of the application procedures, project timelines, compliance with the City Master Plan, and other project criteria, and prevents most situations that usually results in a project being postponed.

## APPLICANT CONTACT INFORMATION

### PROPERTY OWNER

Name: Leisureland Properties, Hayes Piker  
Address: 1603 Goldenrod Ct  
City, State, Zip: Northfield, MN 55057  
Phone #: (507) 250-7480  
Email: hayespiker@hotmail.com

### APPLICANT/OWNER'S REPRESENTATIVE

Name: Wickwire, PC (Brian Savolainen, PE)  
Address: 3224 US-41W #240  
City, State, Zip: Marquette, MI 49866  
Phone #: (906) 250-5729  
Email: bsavolainen@wickwiresolutions.com

### ARCHITECT

Name: Greis Architectural Group, Brannin Gries  
Address: 500 North Commercial Street  
City, State, Zip: Neenah Wisconsin, 54956  
Phone #: (920) 722-2445  
Email: bgries@gries.design

### ENGINEER

Name: Wickwire, PC  
Address: 3224 US-41W #240  
City, State, Zip: Marquette, MI 49855  
Phone #: (906) 250-5729  
Email: bsavolainen@wickwiresolutions.com

### SURVEYOR

Name: North Country Surveying, Inc (Thaddeus Goodwin)  
Address: 554 Little Lake Road  
City, State, Zip: Marquette, MI 49855  
Phone #: (906) 250-3148  
Email: thad@northcountrysurveying.com

## PROPERTY INFORMATION

Property Address: 1101 US-41 West	Property Identification Number: 0514233
Size of property (frontage / depth / sq. ft. or acres): 4.52 Acres	
Zoning District: RC	Current Land Use: Hotel
<b>Surrounding Zoning Districts:</b> North - <u>US-41 then GC</u> East - <u>LDR</u> South - <u>GC</u> West - <u>McClellan then RC</u>	<b>Surrounding Land Use:</b> North - <u>US-41 then current car dealer</u> East - <u>Residential</u> South - <u>Commercial Blue Cross Office</u> West - <u>McClellan Ave then restaurant</u>

## DESCRIPTION OF PROJECT

**Proposed use(s):** Proposed car dealer, display, sales, repair, and service

**Proposed structures (including stairs) and dimensions, building style, and materials:**  
 New 34,709 sft car dealership. See architectural plans in review set. Owner will provide proof of licensing. Building codes approval and items requested in 54.627 & 54.628 prior to final zoning approvals.

**Proposed site improvements:**  
 Improved parking lot utilizing existing entrance, adding parking, storm water improvements to meet MDOT requirements, lighting, and landscaping.


**Proposed phases and timelines for work:**  
 Summer of 2026 through Summer of 2027

**Ultimate ownership:** Marquette GMC already owns property


## SIGNATURE

I hereby certify the following:

1. I desire to apply for a site plan review indicated in this application with the attachments and the information contained herein is true and accurate to the best of my knowledge.
2. The request would not violate any deed restrictions attached the property involved in the request.
3. I have read the attached Site Plan Review section of the Land Development Code and understand the necessary requirements that must be completed.
4. I understand that the payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that is does not assure approval of the plan.
5. I acknowledge that this application is not considered filed and complete until all of the required information has been submitted and all required fees have been paid in full.
6. I acknowledge that no work can commence until the review process has been completed (includes clearing and earthwork).

Applicant Signature:  Date: 4/7/27

1. I am the legal owner of the property for which this application is being submitted.
2. I authorize City Staff and the Planning Commission members to inspect the site.
3. If the applicant is other than the owner, the owner hereby grants permission for the applicant to act on his/her behalf.

Property Owner Signature:  Date: 4/7/27

Project Name: GMC File #: 04-SPR-05-26

Parcel #: 0514233

**PLEASE VERIFY THAT YOU HAVE ADDRESSED ALL THE ITEMS ON THIS LIST IN YOUR SITE PLAN. IF THERE IS NOTHING SHOWN ON THE SITE PLAN PLEASE INCLUDE A STATEMENT AS TO WHY IT HAS NOT BEEN SHOWN, OR MARK IT "NOT APPLICABLE". FAILURE TO ADDRESS THESE ITEMS WILL DELAY APPROVAL. SITE PLAN REVIEW WILL NOT BE SCHEDULED UNTIL COMPLETE PLANS ARE SUBMITTED.**

Site Plan Information Required In the Site Plan Set (See Figure 65 in LDC)		APPLICANT	
		Location in site plan	
<b>Identification of Project</b>			
1. The applicant's name.		Cover	
2. Name of the development.		Cover	
3. The preparer's name and professional seal of architect, engineer, or landscape architect indicating license in the State of Michigan.		Cover	
4. Small scale location sketch of sufficient size and scale. (SKETCH PLAN ONLY)		Cover	
5. A survey of the property, sealed by a surveyor licensed in the State of Michigan.		C0.1	
6. Date of preparation and any revisions.		Cover	
7. North arrow.		All Site	
8. Complete and current legal description and size of property in acres.		C-0.1	
<b>Existing Features</b>			
9. Property lines and dimensions drawn to scale.		All Survey Site	
10. Zoning and current land use of applicant's property and all abutting properties and of properties across any public or private street from the site.		C-0	
11. Lot lines and all structures on the property and within 100 feet of the site's property lines.		C-0	
12. Locations of all significant natural features – streams, wetlands and floodplains (see <a href="#">Section 54.805</a> ), steep slopes (see <a href="#">Section 54.806</a> ).		C-0	
13. Boundary of any Riparian Overlay Districts, per <a href="#">Section 54.320(E)</a> . Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), per <a href="#">Section 54.806</a>		NA	
14. Any existing private or public easements		NA	
15. Location of any access points on both sides of the street within 100 feet of the site along streets where access to the site is proposed.		C-0	
16. Locations of existing utilities.		C-0	
17. Existing topography at a minimum of two (2) foot contour intervals.		C-2	
		Location in site plan	N/A attach reason
<b>Proposed Construction</b>			
18. Building footprints, setbacks, and elevations showing height for all proposed structures with the acreage allotted to each use. See <a href="#">Article 3</a> , <a href="#">Article 4</a> , and <a href="#">Article 7</a> .		C-0 and others	
19. Floor area and ground coverage ratios. See <a href="#">Article 3</a> and <a href="#">Article 4</a> .		17.64%	
20. Schematic storm water management plan, including elements stated below for Final Site Plan requirements, as needed to show intended compliance with the requirements of the Land Development Code. (Preliminary Site Plan submittal only)		C-03	
21. Proposed topography with a site grading plan with topography at a maximum of two (2) foot contour intervals.		C-02	

	<b>APPLICANT</b>	
	Location in site plan	N/A attach reason
22. Boundary of any Riparian Overlay Districts, per <a href="#">Section 54.320(E)</a> . Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), per <a href="#">Section 54.806</a>	none	
23. Location and method of screening for all waste dumpsters. See <a href="#">Section 54.1003(F)</a> .	C-01	
24. Location and dimensions of parking spaces. See <a href="#">Article 9</a> .	C-01	
25. General landscaping design concept acceptable to the Zoning Administrator. <b>(SKETCH PLAN ONLY)</b>	C-04	
26. A landscaping plan indicating proposed plant locations with common plant name, number, and size at installation. Berms, retaining walls or fences shall be shown with elevations from the surrounding average grade. See <a href="#">Article 10</a>	C-04	
27. Details of exterior lighting including locations, height, and method of shielding. See <a href="#">Section 54.802</a> .	E0.2	
28. The location of all permanent or temporary signs, existing or proposed, including their area, size, height, illumination, and the type of construction. See <a href="#">Article 11</a> .	TBD	
29. Locations of utility services (with sizes) and storm water management elements, including, storm drainage, retention or detention ponds and/or swales, rain gardens, riparian buffer vegetative strips, per <a href="#">Section 54.803</a> . Any proposed public or private easements.	C-03	
30. Fire hydrant number and placement or other water supply, and standpipe connection type; Fire dept. connection location; Alarm panel location; Fire dept. access details.	McClellan&41ex	
31. If the application is related to property scheduled for phased development, the proposed layout for the total projected development shall be indicated, and the projected scope and time period shall be estimated for each additional phase. The phasing plan must be acceptable to the City staff to ensure that each phase can function independently and is not reliant on future phases if they are not constructed. Tree clearing and grading is limited to the areas that are proposed and approved for a phased timeline.	Single Phase	
<b>Site Circulation Details and Access Design</b>		
32. General site circulation and access including: indication of street right-of-way and pavement widths; access points; and location of pedestrian paths. See <a href="#">Section 54.907</a> . <b>(SKETCH PLAN ONLY)</b>	C-01	
33. Street horizontal and vertical dimensions, including curve radii.	No change	
34. Dimensions of access points including distance from adjacent driveways or intersecting streets, including those across a street. See <a href="#">Section 54.907</a> .	C-0	
35. Schematic location and names of abutting public streets and other right-of-ways, and schematic location of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths.	C-0	
36. Schematic of access points, including from adjacent driveways on intersecting streets, including those across a street. See <a href="#">Section 54.907</a> .	C-0	
37. Locations, dimensions, and names of abutting public streets and other right-of-ways, and of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths or trails.	C-0	
38. Pavement widths and pavement types for all streets/roads, pedestrian and bicycle paths.	Existing	
39. Written verification of access easements or agreements, if applicable.	NA	
<b>Additional Information</b>		
40. Any other information necessary to establish compliance with this and other ordinances.	NA	

	APPLICANT	
	Location in site plan	N/A attach reason
<b>Voluntary Information/Considerations – callouts/notes and narrative would be appreciated</b>		
41. Infrastructure for Electric Vehicle (EV) charging stations (wiring, conduit, etc.)	NA	
42. Incorporation of green infrastructure elements such as a bioswale/rain garden (see Fig. 41), pervious pavers, vegetative/green roof, living retaining wall, French drains.	C-plans	
43. Public art elements such as sculpture, murals, interactive installations.	NA	
44. Affordable housing (including of explanation of how affordability is calculated).	NA	
45. Encourage colorful cladding materials (black, white, grey materials should be limited to <50 percent of total exterior cladding and trim colors).	See Arch sheets	
46. Inclusion of bicycle parking facilities (racks, shelters, lockers, etc.) not required by the LDC.	NA	

	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
<b>ENGINEERING DEPT</b>			
Please refer to the Engineering Department General Guidelines and Standards for Street and Utility Design: <a href="https://www.marquettemi.gov/wp-content/uploads/2019/03/Design-and-Construction-Standards-Rev.-5-4-16.pdf">https://www.marquettemi.gov/wp-content/uploads/2019/03/Design-and-Construction-Standards-Rev.-5-4-16.pdf</a>			
Will you be managing stormwater and applying for a stormwater utility fee reduction? ___ Yes ___ No If yes, please refer to the Stormwater Utility Fee Reduction Application: <a href="https://www.marquettemi.gov/wp-content/uploads/2019/03/Fillable-Stormwater-Utility-Fee-Reduction-Application.pdf">https://www.marquettemi.gov/wp-content/uploads/2019/03/Fillable-Stormwater-Utility-Fee-Reduction-Application.pdf</a>			
47. Include under general statements: "All utility construction work to be accepted by the City of Marquette into their utility system and all work done in public rights-of-way or easement must be done in accordance with Michigan Department of Transportation and City of Marquette standards and specifications"	<b>C 3</b>		
48. Curb cut, water, sanitary sewer, storm sewer permits, etc. required? (obtain prior to construction activities)	Will require contractor		
49. Vehicle maneuvering lane size	24'		
50. Pavement width/type	C-01		
51. Vegetated buffer or curbing between street and sidewalk and between sidewalk parking areas	C-01		
52. Storm sewer ≥12" diameter, in right-of-way, shall be reinforced concrete	None in ROW		
53. Sumps in catch basins?	Yes		
54. Plans to be stamped, dated and signed by a professional engineer	Cover		
55. Is the downstream storm sewer capacity adequate?	Yes		
56. Verify that storm water runoff volume or velocity is not increased onto adjacent properties	Yes		
57. Does any earthwork disturb adjacent properties?	No		
58. Wetland concerns/proper permits obtained?	NA		
59. Traffic impact minimal to existing conditions (stacking, etc.)?	Yes		

ENGINEERING DEPT CONT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
60. Vehicular and non-motorized circulation	C-1		
61. Sanitary sewer inlet to outlet angles greater than or equal to 90 degrees?	Service line only		
62. Is there a hydrant at the end of any proposed dead end water main?	NA		
63. Size and material type of proposed and existing utilities shown?	C-03		
64. Street horizontal and vertical dimensions, radii	NA		
65. Width and materials for non-motorized paths	None		
66. Dimension of access points including distance from adjacent driveways or intersecting streets	C-01	re-used ex.	
67. Profiles will be shown for all utilities to be accepted by the City of Marquette into their utility system. All grades, pipe sizes, pipe materials, inverts and rim elevations will be shown on the profiles (water mains must have a minimum of 6 feet of cover, sanitary sewer mains must be installed under water mains with 1.5 feet of clearance	C-03		

PUBLIC WORKS DEPT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
68. Delineate & dimension all public or private easements	None		
69. Show public utility main locations & sizes within 100 feet of property boundary	C-03		
70. Extension or re-routing of public utility systems required	No		
71. Capacity and condition concerns of existing utility lines to serve the project	None		
72. Abandonment of existing utility lines associated with the project	None		
73. Location of existing and proposed utility services (with sizes), including storm water to be shown	C-0 & C-03		
74. Utility metering requirements of the project	In building		
75. Backflow and cross connection requirements applicable to the project including any proposed irrigation systems	No irrigation		
76. Sanitary waste pretreatment requirements			
77. Adequate snow storage provided on the property, without clear vision or utility obstructions	Yes		
78. Provisions to collect drainage from snow storage areas collected on property	Storm Basin		
79. Access to public property (permits required for any work on ROW) (Drive, sidewalk, and trail connections)	Will apply for		
80. Additions or changes to public signing or traffic control required or recommended	None		

PUBLIC WORKS DEPT. CONT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
81. Additions to existing public sidewalks, or plowed routes, required or recommended	none		
82. Impact of project on public snow removal/storage	none		
83. Effect on plowing or ice control priorities	none		
84. New signing, overhangs, access ramps, grade changes, retaining walls, fences, etc. to be constructed in City ROW or easements	none		
85. Adequate, proper, and accessible on-site waste storage	c-03		
86. Adequate clearances and clear vision maintained for maintenance and sanitation equipment	yes		
87. Removal, trimming, or planting of public trees required	none		
88. Maintenance-friendly design for any portions of the project to become public property	none		
89. Storage of hazardous materials associated with the project near public utilities	none		
90. Blasting near public utilities associated with the project	none		

FIRE DEPARTMENT DEPT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
91. Buildings meet NFPA standards/NFPA Life Safety Code 101/BOCA National Property Maintenance Code	proposed		
92. Proper water supply for fire suppression including fire hydrants and water mains	no change		
93. Safe outlets for flushing fire hydrants	no change		
94. Easements to test hydrants	none		
95. Water supply meets NFPA standards	proposed		
96. Fire Apparatus Access	architect to coordinate	with fire	
97. Surface Construction	yes		
98. Ability to support fire trucks	yes		
99. Fire truck angle of approach	All sides		
100. Outside turning radius	For semi		
101. Grade of drive or road ok	c-02		
102. Overhead clearance adequate	yes		
103. Driveways and access roads meet NFPA standards	no change		

POLICE DEPARTMENT DEPT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
104. Cross reference with accident data at nearest intersection(s)	no change		

## Excerpt from the Land Development Code

### Article 14: Administrative Procedures

#### Section 54.1402: Site Plan Review

### Section 54.1402 Site Plan Review

- (A) Intent.** It is the intent of this section to establish procedures and standards for the review and approval of site plan applications and to ensure proper relationships between the development features as they relate to the standards outlined in this section. This section is further intended to ensure that developments are compatible with adjacent uses of land and promote the use of land in a desirable manner that does not impair the surrounding uses by the erection of structures, additions, alterations, or site improvements that may negatively impact surrounding development, while providing for the orderly development of the City of Marquette.
- (B) Uses Subject to Site Plan Review, Minor Site Plan Review, and Exemptions.** The required review process for uses and development is described in [Figure 64](#). All uses and development, regardless of whether site plan review is required, are subject to the Zoning Compliance review requirements of [Section 54.1401](#). The Zoning Administrator may approve or conditionally approve site plans that meet the standards herein, as described in [Figure 64](#) and [Section 54.1402\(D\)\(1\)](#), with the exception of those for Special Land Uses, Planned Unit Developments, and those for any commercial development (incl. multi-family dwellings) that is:
- (1)** proposed to have either a footprint area of 16,000 square feet or greater, or a gross floor area of 40,000 sq. ft. or greater.
  - (2)** proposed to have more than 20 dwelling units or lodging rooms.
  - (3)** recommended by the Zoning Administrator or City Attorney for review by the Planning Commission.

**Figure 64. Required Review Process Based on Development Activity**

Development Activity	Site Plan Review Required by P.C.	Minor/Admin Site Plan	Exempt From Site Plan Review
Special land uses	●		
Planned Unit Developments	●		
New building construction totaling more than either 16,000 sq. ft. in footprint area or 40,000 sq. ft. in gross floor area.	●		
New construction for multi-family residential units that contain or will contain more than twenty (20) dwelling units.	●		
Site Condominium development – New, amendment, or expansion	●		
Additions, alterations, non-residential and multi-family accessory structures, and renovations that are more than 16,000 sq. ft. in footprint area or 40,000 sq. ft. in gross floor area.	●		
Filling a parcel of land to an elevation above the established grade of adjacent developed land.		●	
New construction, additions, alterations, or site improvements for multi-family residential units that contain or will contain five (5) to twenty (20) dwelling units, and for multi-family residential additions, alterations, or site improvements that are not otherwise exempt (as stated below), unless site plan review is required due to size criteria being met.		●	

**Article 14: Administrative Procedures**

**Section 54.1402: Site Plan Review**

Development Activity	Site Plan Review Required by P.C.	Minor/Admin Site Plan	Exempt From Site Plan Review
Conversion of an existing building or part thereof from a residential use to a non-residential use, including site improvements that result from a change in the use of the building or part thereof from residential use to nonresidential use.		●	
Additions, alterations, non-residential and multi-family accessory structures, Solar Energy Systems ≥20kw to 2 MW – Accessory Use, Solar Energy Systems ≥20kw to 2 MW – Principal Use, and renovations that are more than 10% of the size of the original commercial or multi-family residential building footprint or more than 500 square feet, unless otherwise exempt.		●	
Relocation of a building approved via Site Plan Review, with associated utilities.		●	
Any expansion or change in an existing land use if more parking in addition to that already provided is required.		●	
Any earthwork greater than 20,000 square feet in size for a non-residential use; or earthwork that is more than half the size of the parcel upon which commercial, industrial, mixed-use or multi-family land use is occurring or intended.		●	
Site improvements of more than 2,000 square feet that include landscaping, site access, and parking lot grading, layout, and new off-street parking, unless the activity is exempt		●	
Commercial and non-residential buildings less than 16,000 square feet, unless the activity requires site plan review		●	
Condominium development – New, amendment, or expansion		●	
If only adding a new driveway to an existing off-street parking lot and not affecting the parking lot.			●
Single-family dwellings and their accessory facilities on individual parcels			●
Two-family dwellings and their accessory facilities on individual parcels			●
Multi-family residential units that contain or will contain three (3) or four (4) dwelling units.			●
Additions, alterations, non-residential and multi-family accessory structures, Solar Energy Systems <20kw – Accessory Use, and renovations that are up to 10% of the size of the original industrial, commercial or multi-family residential building footprint or up to 500 square feet.			●
Relocation of a building approved via a site or plot plan, no corresponding utilities.			●
Interior remodeling or interior construction			●
Landscaping that is less than 25% of the parcel size or 2,000 square feet			●
Site improvements that are less than 2,000 square feet, and site lighting, unless the activity requires site plan review or minor site plan review			●
Alterations to exterior walls such as window openings, façade changes, etc., provided there is no change to the building footprint			●
Re-paving of an off-street parking lot, provided there are no grading changes and no changes to the configuration of the parking lot layout			●

**(C) Information Required for Site Plans and Sketch Plans.** The site plan review application materials shall include all the following information, unless the Zoning Administrator determines that some of the required information is not reasonably necessary for consideration of the plan.

- (1) Application and Fee.** A completed application form, supplied by the Zoning Administrator, and an application fee.
- (2) Proof of Ownership.** Current proof of ownership or evidence of a contractual ability to acquire such land, such as an option or purchase agreement or a written statement from the property owner indicating permission for the filing of the application.
- (3) Site Plan.** Six (6) copies of plan sheet(s) providing the information listed below ([Figure 65](#)). For minor site plans, three (3) copies of plan sheets are required. Sheet size of submitted drawings shall be at least 24-inches by 36-inches, with graphics at an engineer's scale of one (1) inch equals twenty (20) feet for sites of 20 acres or less; and one (1) inch equals fifty (50) feet for sites over 20 acres. The surrounding area drawing may be in a scale of one (1) inch equals one-hundred (100). One digital copy of the complete plan set must also be submitted. Upon request of the applicant, the Zoning Administrator may waive individual site plan requirements if the requirements are found to be unnecessary or irrelevant to the intent of providing the information; however, the Planning Commission has the right to require all of the information in [Figure 65](#).
- (4) Sketch Plan.** A sketch plan must include the information listed below ([Figure 65](#)). The number of plans submitted is determined by the Zoning Administrator, based upon whether or not the plans need to be reviewed by the Fire Dept., Police Dept., and/or Dept. of Public Works – in addition to the Engineering and Planning-Zoning functions of the Community Development Department. One digital copy of the complete plan set must also be submitted. The sheet size of submitted drawings shall be at a scale acceptable to the Zoning Administrator. Upon request of the applicant, the Zoning Administrator may waive individual sketch plan requirements if the requirements are found to be unnecessary or irrelevant to the intent of providing the information; however, the Planning Commission has the right to require all of the in information in [Figure 65](#).

Figure 65. Site Plan Information Required in the Site Plan Set

Site Plan Information Required in the Site Plan Set	Sketch Plan	Preliminary Site Plan	Final Site Plan
<b>Identification of Project</b>			
The applicant’s name.	●	●	●
Name of the development.	●	●	●
The preparer’s name and professional seal of architect, engineer, or landscape architect indicating license in the State of Michigan.		●	●
Small scale location sketch of sufficient size and scale.	●		
A survey of the property, sealed by a surveyor licensed in the State of Michigan.		●	●
Date of preparation and any revisions.	●	●	●
North arrow.	●	●	●
Complete and current legal description and size of property in acres.	●	●	●
<b>Existing Features</b>			
Property lines and dimensions drawn to scale.	●	●	●
Zoning and current land use of applicant’s property and all abutting properties and of properties across any public or private street from the site.	●	●	●
Lot lines and all structures on the property and within 100 feet of the site’s property lines.		●	●
Locations of all significant natural features – streams, wetlands and floodplains (see Section 54.805), steep slopes (see Section 54.806), woodlands and protected trees (see Section 54.807).	●	●	●
Boundary of any Riparian Overlay Districts, per <a href="#">Section 54.320(E)</a> . Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), per <a href="#">Section 54.806</a>		●	●
Any existing private or public easements		●	●
Location of any access points on both sides of the street within 100 feet of the site along streets where access to the site is proposed.	●	●	●
Locations of existing utilities.	●	●	●
Existing topography at a minimum of two (2) foot contour intervals.		●	●
<b>Proposed Construction</b>			
Building footprints, setbacks, and elevations showing height for all proposed structures with the acreage allotted to each use. See <a href="#">Article 3</a> , <a href="#">Article 4</a> , and <a href="#">Article 7</a> .	●	●	●
Floor area and ground coverage ratios. See <a href="#">Article 3</a> and <a href="#">Article 4</a> .	●	●	●
Schematic storm water management plan, including elements stated below for Final Site Plan requirements, as needed to show intended compliance with the requirements of the Land Development Code.		●	
Proposed topography with a site grading plan with topography at a minimum of two (2) foot contour intervals.		●	●
Boundary of any Riparian Overlay Districts, per <a href="#">Section 54.320(E)</a> . Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), per <a href="#">Section 54.806</a>		●	●

Site Plan Information Required in the Site Plan Set	Sketch Plan	Preliminary Site Plan	Final Site Plan
Location and method of screening for all waste dumpsters. See <a href="#">Section 54.1003(F)</a> .		●	●
Location and dimensions of parking spaces. See <a href="#">Article 9</a> .	●	●	●
General landscaping design concept acceptable to the Zoning Administrator.	●		
A landscaping plan indicating proposed plant locations with common plant name, number, and size at installation. Berms, retaining walls or fences shall be shown with elevations from the surrounding average grade. See <a href="#">Article 10</a> .		●	●
Details of exterior lighting including fixture and pole locations, height, and method of shielding. See <a href="#">Section 54.802</a> .		●	●
The location of all permanent or temporary signs, existing or proposed, including their area, size, height, illumination, and the type of construction. See <a href="#">Article 11</a> .	●	●	●
Locations of utility services (with sizes) and storm water management elements, including, storm drainage, retention or detention ponds and/or swales, rain gardens, riparian buffer vegetative strips, per <a href="#">Section 54.803</a> . Any proposed public or private easements.			●
Fire hydrant number and placement or other water supply, and standpipe connection type; Fire dept. connection location; Alarm panel location; Fire dept. access details.			●
If the application is related to property scheduled for phased development, the proposed layout for the total projected development shall be indicated, and the projected scope and time period shall be estimated for each additional phase. The phasing plan must be acceptable to the City staff to ensure that each phase can function independently and is not reliant on future phases if they are not constructed. Tree clearing and grading is limited to the areas that are proposed and approved for a phased timeline.	●	●	●
<b>Site Circulation Details and Access Design</b>			
General site circulation and access including: indication of street right-of-way and pavement widths; access points; and location of pedestrian paths. See <a href="#">Section 54.907</a> .	●		
Street horizontal and vertical dimensions, including curve radii.		●	●
Dimensions of access points including distance from adjacent driveways or intersecting streets, including those across a street. See <a href="#">Section 54.907</a> .		●	●
Schematic location and names of abutting public streets and other right-of-ways, and schematic location of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths.		●	
Schematic of access points, including from adjacent driveways on intersecting streets, including those across a street. See <a href="#">Section 54.907</a> .		●	
Locations, dimensions, and names of abutting public streets and other right-of-ways, and of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths or trails.			●
Pavement widths and pavement types for all streets/roads, pedestrian and bicycle paths.			●
Written verification of access easements or agreements, if applicable.		●	●



## MARQUETTE GMC PROJECT NARRATIVE

RE: NEW SALES AND SERVICE FACILITY FOR MARQUETTE GMC

LOCATION: **1101 W US Highway 41, MARQUETTE, MI**

### **Project Overview**

The proposed 35,000 square foot GMC dealership is designed to serve as a state-of-the-art automotive retail and service destination. Located on a prominent commercial site in Marquette, the facility is strategically positioned to enhance customer accessibility and visibility while delivering a modern, branded experience aligned with General Motors Company (GMC) identity standards. The dealership will support vehicle sales, service, parts, and administrative functions

### Design Objectives

- **Customer Experience:** Create a seamless and inviting journey from entry through sales to service, maximizing comfort, transparency, and engagement.
- **Operational Efficiency:** Optimize workflow for sales, service, and inventory management, supporting staff productivity and customer satisfaction.
- **Future Flexibility:** Accommodate emerging technologies, including EV charging infrastructure and digital retailing enhancements.

---

### **Program Components**

- Showroom & Customer Areas
- High-volume glazed storefront with branded signage and lighting.
- Display capacity for 2–3 vehicles in an open, well-lit environment.

- Customer lounge with refreshments, Wi-Fi, and digital information kiosks.
  - Reception, sales offices, F&I rooms, and accessory display zones.
  - Service bays including quick lube, alignment, and diagnostic stations.
  - Fully equipped technician workstations with tool storage and lifts.
  - Customer service write-up area with covered drop-off lanes.
  - Parts storage area with mezzanine for inventory expansion.
  - Sound attenuation, durable materials, and high-efficiency HVAC systems.
  - Management offices, conference room, HR, and accounting.
  - Employee amenities: break room, lockers, and restrooms.
  - Secure data and IT infrastructure zones.
  - Vehicle Delivery, Wash & Prep
  - Dedicated delivery bays with customer handoff stations.
  - Secure indoor vehicle storage and staging area.
- 

### **Site Design**

- Intuitive vehicular circulation separating customer, service, and inventory traffic.
  - Landscaped entryways and buffer zones complying with zoning requirements.
  - Parking for vehicles including customer, inventory, and employee areas.
  - LED site lighting and camera surveillance for security.
- 

### **Sustainability & Technology**

- Energy-efficient mechanical systems and LED lighting throughout.
  - Smart building management systems for HVAC and lighting control.
-

## Conclusion

The new 35,000 SF GMC dealership will embody the precision, durability, and strength associated with the GMC brand. It will offer an elevated retail and service experience, operational excellence, and forward-thinking infrastructure. The design blends functionality with an impactful aesthetic presence, establishing a long-term asset for both the client and the community.

---

### 1. SECTION 54.627 Light Manufacturing, Heavy Manufacturing, and Major Vehicle Repair and Maintenance Operations

#### a. Environmental Factors.

The proposed GMC dealership in Marquette, MI, has been designed with a strong emphasis on environmental responsibility, sustainability, and community consideration. In accordance with local zoning and land use regulations, every effort has been made to confine and mitigate environmental nuisances such as noise, vibration, smoke, dust, odors, and glare on-site to the maximum extent possible. The following outlines our approach to managing these environmental factors:

- **Noise Mitigation**

Operational noise, including vehicle maintenance and delivery operations, will be contained within enclosed service bays and loading areas located away from residential or sensitive adjacent properties. Business operations will follow standard daytime hours. Noise-reducing landscaping and fencing will be implemented along the perimeter to further buffer any residual sound.

- **Vibration Control**

All major service equipment will be mounted with vibration-dampening foundations and housed indoors. There are no high-vibration industrial processes involved in dealership operations that would cause off-site disturbance.

- **Smoke and Odor Containment**

There will be no manufacturing or heavy industrial activity that generates smoke. All vehicle service activities will occur indoors in a properly ventilated, filtered environment. Ventilation systems will comply with local air quality standards, significantly minimizing any potential for odor transmission beyond the site.

- **Dust and Particulate Management**

During construction, dust control measures such as on-site watering, silt fencing, and covered stockpiles will be implemented. Post-construction, paved surfaces and landscaping will prevent dust migration. Regular site maintenance will ensure dust and debris are kept at a minimum.

- **Glare and Lighting**

Site lighting will be designed in accordance with dark sky principles, utilizing downward-facing, shielded fixtures to prevent light spillover onto adjacent properties.

- **Off-Site Impact Assessment**

Based on the nature of dealership operations and the mitigation strategies outlined, we do not anticipate significant off-site environmental nuisances.

- b. **Permits.** We will obtain the necessary state and federal permits, including permits or waiver for permits from the Michigan Department of Environmental Quality. Documents will be sent to zoning administration upon request.
- c. **Dangerous, Noxious, and Nuisance Conditions Prohibited.** No dangerous, noxious or nuisance conditions will impact any adjacent premises.
- d. **Notice of Intent to Build or Expand.** Notice of intent to build or expand will be given to the Zoning Administrator at the same time application is made to federal or state agencies which may require permits.
- e. **Discontinued Activity.** When industrial activity is discontinued or the site is vacated, the site shall be left in a condition free from hazards (including but not limited to dangerous excavations, and abandoned structures above or below ground).
- f. **Additional Safeguards.** It is acknowledged that the Planning Commission may require additional safeguards to meet the intent of the district and to assure opportunity for additional industrial uses and for growth within each area of the city which permits industrial uses.
- g. **(G) Vehicle Maintenance Operations.**

- (1) Overnight and long-term vehicle storage will be screened from the view of residential properties that abut the property upon which the vehicles are being stored. This is done via fencing and landscaping.
- (2) Outdoor materials will be stored in a masonry enclosure onsite.
- (3) Garbage and Dumpsters are screened with a masonry dumpster enclosure. Please refer to drawing details.

## 2. SECTION 54.628 Light Vehicle/Equipment Sales and Display

- a. **Minimum Lot Size.** The site is 4.52 Acres which exceeds minimum required lot size.
- b. **Licensing.**
  - (1) For vehicle sales, the proprietor is licensed dealer in the State of Michigan.
  - (2) Vehicle licensing requirements of the State of Michigan will be followed in the review and approval of vehicle sales requests.
- c. **Open Drive Aisles.** Outdoor display and storage areas of vehicles will maintain open drive aisles to allow free movement of vehicles.
- d. **Parking.**
  - (1) All vehicles waiting to be picked up by the vehicle driver will be kept in approved parking spaces on site.
  - (2) Vehicles being displayed will not be parked in required parking spaces. They will only be parked in the excess approved hard surface (see definition of "Hard Parking Surface" in Section 54.202(A)(92)) parking spaces on the site and the location must still meet the maneuvering lane requirements.
- e. **Flag or Pennant Displays.**
  - The owner understands one (1) flag or pennant may be displayed on each vehicle for sale or lease. The maximum size of each flag or pennant shall not exceed twelve (12) inches × eighteen (18) inches. All

other signage for the site must comply with Article 11. Article 6: Standards Applicable to Specific Uses City of Marquette Land Development Code Effective: July 18, 2024 6-22

**f. Power Equipment and Vehicle Accessories.**

- The owner understands display areas may include those approved per Article 6, Section 54.639 or must be in other areas on the private property (out of any right-of-way) that are not within a clear vision triangle or required side and rear yards and are outside of pedestrian paths or required parking spaces. The display of qualifying merchandise may encroach to within five (5) feet of the public sidewalk provided items are on a hard surface.

**3. Signs**

- a. BUILDING SIGNS: All proposed building signage is indicated on the exterior elevation and supplemental signage package will be provided by GMC for approvals. Building signage is designed and permitted through the GMC sign Vendor.



March 23, 2026

Andrea Landers, Zoning Official

City of Marquette

1100 Wright Street  
Marquette, MI 49855

**GMC Site Design Revisions Letter**

Dear Andrea Laners,

We are writing to inform you of some updates made to the proposed GMC site design as part of our ongoing review and refinement process.

The primary revision involves a slight adjustment to the building orientation. The structure has been rotated by a few degrees to better align with the existing site grading, which we believe will improve overall integration with the topography and reduce the need for excessive grading work.

Additionally, the building footprint has been increased from the original proposal from 31,195 SFT to 34,709 SFT (+11%). As a result of this change, we have updated all relevant calculations, including green space and parking requirements, to ensure continued compliance with applicable zoning regulations.

Below is a table of revised calculations.

	Previous Plan Set		Revised Plan Set	
Zoning Req.	Required	Actual	Required	Actual
Greenspace	4,794.2 Sft	4,845 Sft	5,192.3 Sft	5,207 Sft
Parking	31.2 (customer) 52.4 (service, 87.3 w/ 60% red.)	29 (customer) 72 (service) 214 Total (w/ vehicle display)	31.2 (customer) 34.3 (service, 57.2 w/ 60% red.)	37 (customer) 46 (service) 222 Total (w/ vehicle display)
Snow Storage	3,081 Sft	7,240 Sft	3,613 Sft	3,619 Sft

Please find the revised site plans and supporting documentation included for your review. We believe these modifications enhance the functionality and feasibility of the project while maintaining adherence to zoning standards.

Can these modifications be handled with an in-house review, or will we need to go back through a planning commission review process?



We are still waiting on the lighting details from the architect, and we will provide a complete final zoning compliance application along with official responses to all previous comments. Should you have any questions or require further clarification, please do not hesitate to contact us via email or phone.

Sincerely,

WICKWIRE, P.C.

A handwritten signature in blue ink, appearing to read "B. Savolainen", with a long horizontal line extending to the right.

Brian Savolainen, P.E.

Senior Project Manager

Cc: WW File 26012

[https://Wickwire.Sharepoint.Com/Sites/WICKWIREP.C/Shared Documents/General/Clients/Hayes\\_Piker/26012\\_Site\\_Plan\\_Mod\\_GMC\\_Dealership/Eng/Submittals/032426\\_City\\_Review/Revision Memo.Docx](https://Wickwire.Sharepoint.Com/Sites/WICKWIREP.C/Shared Documents/General/Clients/Hayes_Piker/26012_Site_Plan_Mod_GMC_Dealership/Eng/Submittals/032426_City_Review/Revision Memo.Docx)



CITY OF MARQUETTE  
POLICE DEPARTMENT  
300 W. BARAGA AVE.  
MARQUETTE, MI 49855  
(906) 228-0400  
[www.marquettemi.gov](http://www.marquettemi.gov)

## **MEMORANDUM**

**TO:** Planning Commission  
**FROM:** James Finkbeiner, Road Patrol Captain  
**DATE:** APRIL 09, 2026  
**SUBJECT:** Review of 04-SPR-05-26

**Parcel ID's # 0514233**  
**1101 US-41 West**  
**MARQUETTE GMC – new dealership location**

I have reviewed the plans and have no comments at this time.

Captain James Finkbeiner  
Road Patrol Captain  
Marquette City Police Department



---

**Re: 04-SPR-05-26 1101 W US 41 - GMC revised site plan**

---

**From** Daniel Carter <dcarter@marquettemi.gov>  
**Date** Fri 4/10/2026 10:50 AM  
**To** Andrea Landers <alanders@marquettemi.gov>

Hi Andrea, No conflict on my end.

---

**From:** Andrea Landers <alanders@marquettemi.gov>  
**Sent:** Tuesday, April 7, 2026 5:17 PM  
**To:** David Stensaas <dstensaas@marquettemi.gov>; Ann Cook <acook@marquettemi.gov>; Chad Hightshoe <chightshoe@marquettemi.gov>; Daniel Carter <dcarter@marquettemi.gov>; Kellen Wessels <kwessels@marquettemi.gov>; Mark Oneill <moneill@marquettemi.gov>; Melissa Erkkila <merkkila@marquettemi.gov>; Mik Kilpela <mkilpela@marquettemi.gov>; Scott Cambensy <scambensy@marquettemi.gov>; Jeffrey Fossitt <jfossitt@marquettemi.gov>; James Finkbeiner <jfinkbeiner@marquettemi.gov>; Michael Sjolund <msjolund@marquettemi.gov>; Dennis Stachewicz <dstachewicz@marquettemi.gov>; Tim Smith <tsmith@marquettemi.gov>; Nicole Bennett <nbennett@marquettemi.gov>; Dulcee Atherton <datherton@marquettemi.gov>  
**Subject:** 04-SPR-05-26 1101 W US 41 - GMC revised site plan

Hi,

GMC has revised its site plan and will need to return to the Planning Commission, as a site plan meeting staff's comments from last year was never submitted and, as a result, approval was never granted.

Attached you will find a memo explaining the revisions, GMC's responses to staff comments from last review, and the site plan application and plan set.

I will be distributing hard copies of the site plan to PD, DPW (Scott), Engineering, and Fire. Please review the materials and provide any comments by end of day Tuesday, April 14.

Thank you,  
Andrea

Andrea Landers  
Zoning Official  
City of Marquette

[alanders@marquettemi.gov](mailto:alanders@marquettemi.gov)

906-225-8383

[www.marquettemi.gov](http://www.marquettemi.gov)

Link to Zoning Page: [Zoning - City of Marquette \(marquettemi.gov\)](http://www.marquettemi.gov/zoning)



CITY OF MARQUETTE  
Fire Department  
418 S. Third St.  
MARQUETTE, MI 49855  
(906) 225-8941  
[jfossitt@marquettemi.gov](mailto:jfossitt@marquettemi.gov)



**MEMORANDUM**

TO: Andrea Landers  
FROM: Jeff Fossitt  
DATE: 4-9-26  
SUBJECT: 04-SPR-05-26  
1101 W. US Highway 41  
Parcel Number: 0514233

No comments.

Thank you,

Jeff Fossitt  
Fire Marshal  
Marquette Fire Department



**SITE PLAN REVIEW COMMITTEE**  
**Site Plan Review**  
**CITY OF MARQUETTE**  
**300 W. Baraga**  
**Marquette, MI 49855**

**Date:** April 14, 2026

**Location:** 1101 US-41 West

**Submittal Documents:**

Plan Title: Marquette GMC Site Development

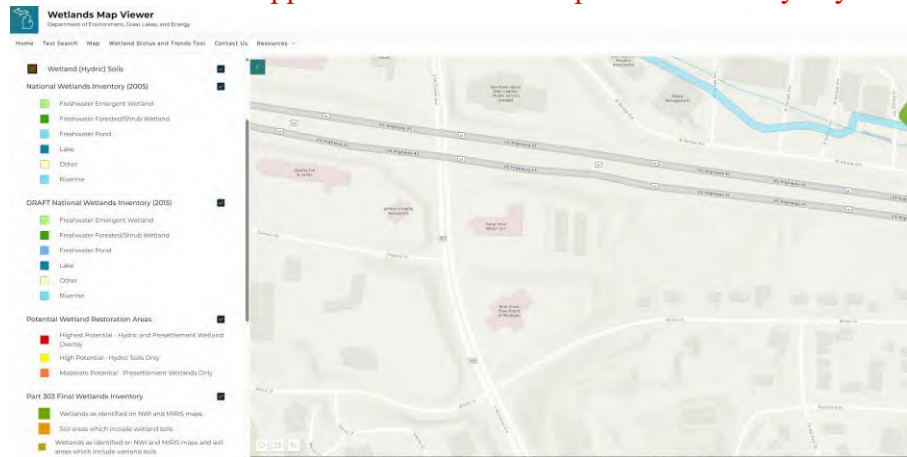
Submitted by: Gries Architectural Group / Wickwire

Plans Stamped: 4/7/26

The following are the plan review comments from the Engineering Department for the documents identified above.

- **General Comments**

- The parking area is shown extending further east and into a low wet area. Has this been confirmed to not be a wetland or been permitted through EGLE if it is? **EGLE's wetland mapper and our wetland rep did not identify any wetland on site.**



- Is there a specific reason that the storm sewer connection to Manhole-3 is being abandoned completely and not reused? See additional storm sewer/hydrology comments below. **The eastern connection to the storm sewer is being abandoned as the storm manhole 1 is better suited to be the connection point. However, we are considering all options in our updated storm water plan.**
- Has an updated hydrology and hydraulics report been submitted and approved by MDOT for this updated site plan?
  - Provide copy of this report or otherwise show that the runoff, and flow velocity, from the proposed layout is equal to or less than the runoff from the existing property. **Report is being updated and will be provided to MDOT within the next week, and we will provide copies to the city.**

- C-0
  - Add notes to show where and how utilities will be abandoned (or have been), such as where pipe will be capped and what sections are to be removed vs abandoned in place. **This will be done.**
- C-03
  - As noted above in general comments, confirm H&H for current site plan has been submitted to MDOT and shows the rate of runoff leaving the site to be equal to or less than current conditions. **MDOT permit will be applied for within the next week. Hydraulic calculations will be updated and provided.**
  - Add elevations to the bottom of the detention basins, plan and profile. **This will be done.**
  - Add elevations to the emergency overflow, plan and profile. **This will be done.**
  - The utility crossings shown in the profiles do not match each other, i.e storm is above water on the storm profile view and storm is below water on the water profile view. Verify that shown elevations are correct and note the clearance between water and sewer lines. **We will verify utility depths and note vertical separation.**
  - The inverts of the IN pipe from the site to Storm Manhole-1 do not match in the plan and profile. Confirm which elevation is correct. **Existing storm manhole inv. Elev shown in the plans is existing and to be abandoned. The leader will be revised for clarity.**
  - The emergency spillway is shown to activate at approximately 783.5' elev. as drawn (see note above to verify). This is lower than the invert of the outlet pipe from CB-1(783.70'). Therefore, what is noted as an Emergency Overflow would be the primary outlet for stormwater from the site. **Outlet at CB-1 shall be lowered to 783.3'.**
    - Verify and correct any elevations **This will be done.**
    - The currently proposed overflow with riprap would likely not be adequate for a primary outlet **This will not be a primary outlet. Emergency only.**
  - The slope of the emergency overflow is approximately 28% as shown.
    - The velocities at that slope would be significant **Armoring of overflow will be based on final velocities.**
    - Has MDOT approved of the potential flow rate and velocities from this outlet to their ROW/Stormwater infrastructure? **MDOT permit review will be applied for this week. We will meet MDOT requirements.**
    - Would a series of check dams be warranted? **Rip rap check dams may be utilized pending mdot review and site conditions during construction.**

Respectfully Submitted,

Engineering Department



## **MEMORANDUM**

**TO:** Brian Savolainen, PE for Wickwire  
**FROM:** Andrea Landers, Zoning Official  
**DATE:** April 14, 2026  
**SUBJECT:** 04-SPR-05-26 – 1101 W US 41 (PIN: 0514233)

After review of the revised plans, zoning staff has the following comments:

### **General Comments**

1. No signage shown has been reviewed per this site plan. A sign permit is required and all of the missing information must be shown at that time. **Sign is still TBD. Permit will be obtained at that time.**
2. The Memo shows inaccurate required parking calculation. Please update the memo. **Parking designation for 15 service spaces shall be designated as vehicle display.**
  - a. 35 customer spaces are required (any ADA spaces are within the 25), then 58 service spaces are required, for a total of 93 spaces with 60% parking reduction = 56 required.  **$34.7+57.2 = 93$ . Reduction:  $93*60\% = 56$**
  - b. You are allowed a maximum of 20% more than that = 12 more spaces, so a total of 68 maximum spaces allowed. The proposal is for 83 spaces for the uses, and this is 15 spaces more than allowed for the maximum.
  - c. Then 139 spaces for vehicle display.
3. Please provide the required bicycle parking spaces per Section 54.908 of the Land Development Code (LDC). **Bicycle parking will be added to meet retail landuse requirements. (2 spaces + 1 additional space/10,000 sq. ft. of floor area + 1 sheltered space / 20 employees per shift(part-time or full-time))  $2+3.47+1 = 7$  spaces**

### **Sheet C-01**

1. Snow storage is only shown in one location with a note #6, but the calculations state it is in two. Please add the notation for the second location. **Keynote in the northern detention basin should be #6 not #4.**
2. Please see comment #2 under general comments for the correct parking calculations that need to be updated on this sheet. **Parking calculation shall be revised as per GC. 2.**
3. Please provide your parking study for the request of additional 15 spaces past the allowable maximum. See LDC Section 54.902(H). **Parking calculation shall be revised as per GC. 2.**

### **Sheet C-04**

1. The LDC frontage landscaping requirements have been reduced for deciduous or evergreen trees and shrubs, please see Section 54.1003 if you wish to reduce the landscaping to meet the new requirements. **Landscaping will be reduced to meet the new requirements.**
2. Section 54.1003, Figure 63 **Standards for Plant Materials – Recommended Plant Types and Sizes** has been amended. Please revise your chart on this page to reflect the updated Figure 63. **Landscaping will be revised to meet the new requirements.**
3. You are showing shrub symbols in a proposed parking space, please remove those and relocate if necessary. **Shrubs will be relocated.**
4. The interior landscaping requirements per Section 54.1003(C)(2) are not met. One (1) deciduous tree shall be planted for each 300 square feet of interior landscaping. For example, the 2,699 S.F. area requires 9 deciduous trees and only 2 are provided. Also, you have called out areas that do not have any deciduous trees. Please revise this sheet to meet the LDC requirements. **Landscaping will be updated to meet the requirements. Coniferous trees will be revised to deciduous.**
5. Please remove 1,596 from your Greenspace calculations as you do not have an area with that amount and it is not counted with the total of 5,207 S.F. **This will be removed from the calculation.**
6. The greenbelt requirements (Section 54.1003(D)) have been amended since you last submitted. Please revise the plans to meet the 10-ft in width (you are providing 40-ft), and the landscaping standards which you are not meeting. Please see Section 54.1003(D)(4). **Landscaping will be updated to meet the new requirements.**

## **Sheet E0.2**

1. The proposal indicates that the lighting exceeds 0.5 footcandles at the property line in areas. Please revise to meet the LDC Section 54.802(3) and to have no areas exceeding 0.5 footcandles at the property line. **Revised photometric calculations will not exceed 0.5fc at the property line.**
2. Next to the proposed light poles it states @ 20-ft. Is the measurement from the grade to the top of the fixture? Please provide a statement on this sheet stating that or a detail showing how this requirement is being met. **Grade to top of fixture. Pole base detail will be added to clarify.**
3. The proposed fixtures do not show shielding, please provide how you will meet Section 54.802(B)(1). **Site fixtures have zero cut-off and are specified with internal louver.**
4. Please provide how you do or will meet Figure 49 in Section 54.802. Per the statistics numbers you provide, they are not being met. **Site photometric calculations will be below 20 fc.**
5. Wall pack fixtures are prohibited, except where the lens is fully shielded. Please provide how you will meet this. **Type CC wall pack has recessed internal reflector with zero upright.**



**Sheet E0.2**

1. The proposal indicates that the lighting exceeds 0.5 footcandles at the property line in areas. Please revise to meet the LDC Section 54.802(3) and to have no areas exceeding 0.5 footcandles at the property line. **Revised photometric calculations will not exceed 0.5fc**
2. Next to the proposed light poles it states @ 20-ft. Is the measurement from the grade to the top of the fixture? Please provide a statement on this sheet stating that or a detail showing how this requirement is being met. **Grade to top of fixture. Pole base detail will clarify.**
3. The proposed fixtures do not show shielding, please provide how you will meet Section 54.802(B)(1). **Site fixtures have zero cut-off and are specified with internal louver** →
4. Please provide how you do or will meet Figure 49 in Section 54.802. Per the statistics numbers you provide, they are not being met. **Site photometric calculations will be below 20fc.**
5. Wall pack fixtures are prohibited, except where the lens is fully shielded. Please provide how you will meet this. **Type CC wall pack has recessed internal reflector with Zero uplight.**

Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

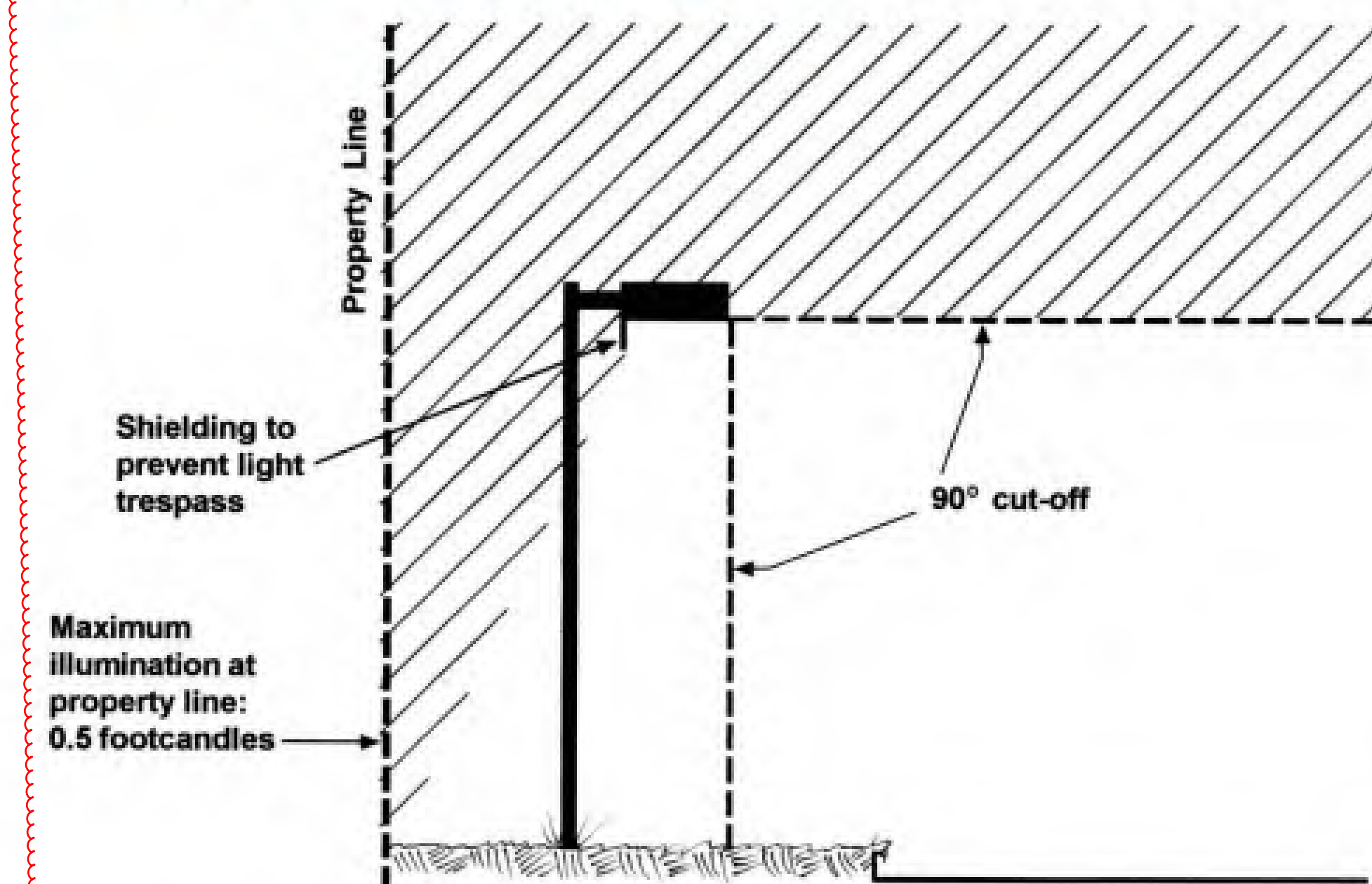
**Figure 49. Maximum Illumination Levels**

Location	Maximum Level of Illumination (Footcandles) for the Average of the Area
Off-Street Parking Areas	1.0
Off-Street Loading Areas	1.0
Sidewalks	1.0
Building Entrances (Frequent Use)	5.0
Building Entrances (Infrequent Use)	1.0
Gas Station (Directly Under Canopy)	20.0
Other Outdoor Areas Not Listed	At the discretion of the Planning Director, with a maximum not to exceed 20.0

**(B) General Lighting Requirements.**

**(1) Shielding.** Unless otherwise exempt, all outdoor lighting must be shielded so the surface of the source of the light shall not be visible from adjacent residential districts, adjacent residences, and public right-of-way. All outdoor lighting shall be directed toward and confined to the ground areas. Full cut-off fixtures shall be used to prevent light from projecting above a ninety (90) degree horizontal plane (see [Figure 47](#)). For uses with a canopy, lights under the canopy must be recessed into the canopy so that the bottom of the light fixture is not below the bottom of the canopy (see [Figure 48](#)).


**Figure 47. Light Fixture Cutoff and Shielding**





# 04-SPR-05-26 Block Map



  
 The information contained on this map is believed to be accurate but accuracy is not guaranteed. Mapping information is a representation of various data sources and is not a substitute for information that would result from an on-site land survey. The information contained herein does not replace information that may be obtained by consulting the information's original source. In no event shall the City of Marquette be liable for any damages, direct or consequential, from the use of the information.  
 1 inch equals 126 feet

<ul style="list-style-type: none"> <li>Parcels_Address Number Labels</li> <li>Streets</li> <li>Storm Manholes</li> <li>Storm Catch Basins</li> <li>swCulverts_Inlets_Outlets_Points</li> <li>Storm Pipes</li> </ul>	<ul style="list-style-type: none"> <li>swTreatmentUnits</li> <li>Storm_Ditches_and_Streams</li> <li>INFO</li> <li>DAYLIGHT</li> <li>IN ROAD/BRIDGE CULVERT</li> <li>IN STORM SEWER</li> <li>Fire Hydrants</li> </ul>	<ul style="list-style-type: none"> <li>WaterShutOff</li> <li>Water Valves &amp; Gates</li> <li>Water Lateral Lines</li> <li>Watermains</li> <li>Water Structures</li> <li>Sewer_Lift_Stations</li> <li>SewerCleanOuts</li> </ul>	<ul style="list-style-type: none"> <li>Sewer System Valves</li> <li>Sewer Manholes</li> <li>Sewer Lateral Lines</li> <li>Sewer Pressurized Mains</li> <li>Sewer Gravity Mains</li> </ul>	<ul style="list-style-type: none"> <li>San Flow Direction</li> <li>FLOW_DIR</li> <li>EAST</li> <li>NORTH</li> <li>SOUTH</li> <li>WEST</li> <li>BLP Streetlights</li> </ul>	<ul style="list-style-type: none"> <li>BLP Primary Lines</li> <li>OH_UG</li> <li>Overhead</li> <li>Underground</li> <li>FiberLines</li> <li>Gas_SEMCO_Gas_Mains_2026</li> </ul>
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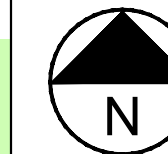
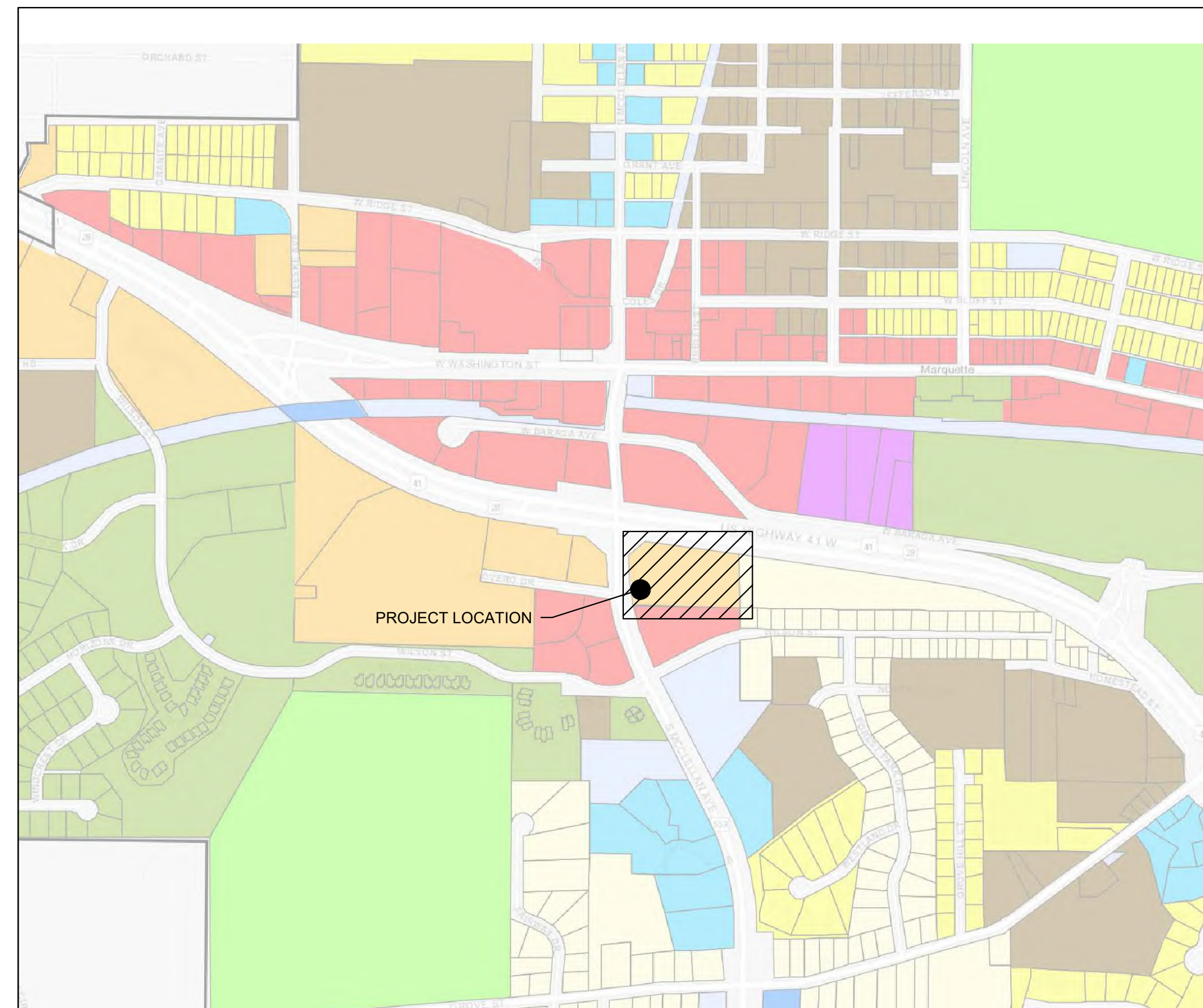
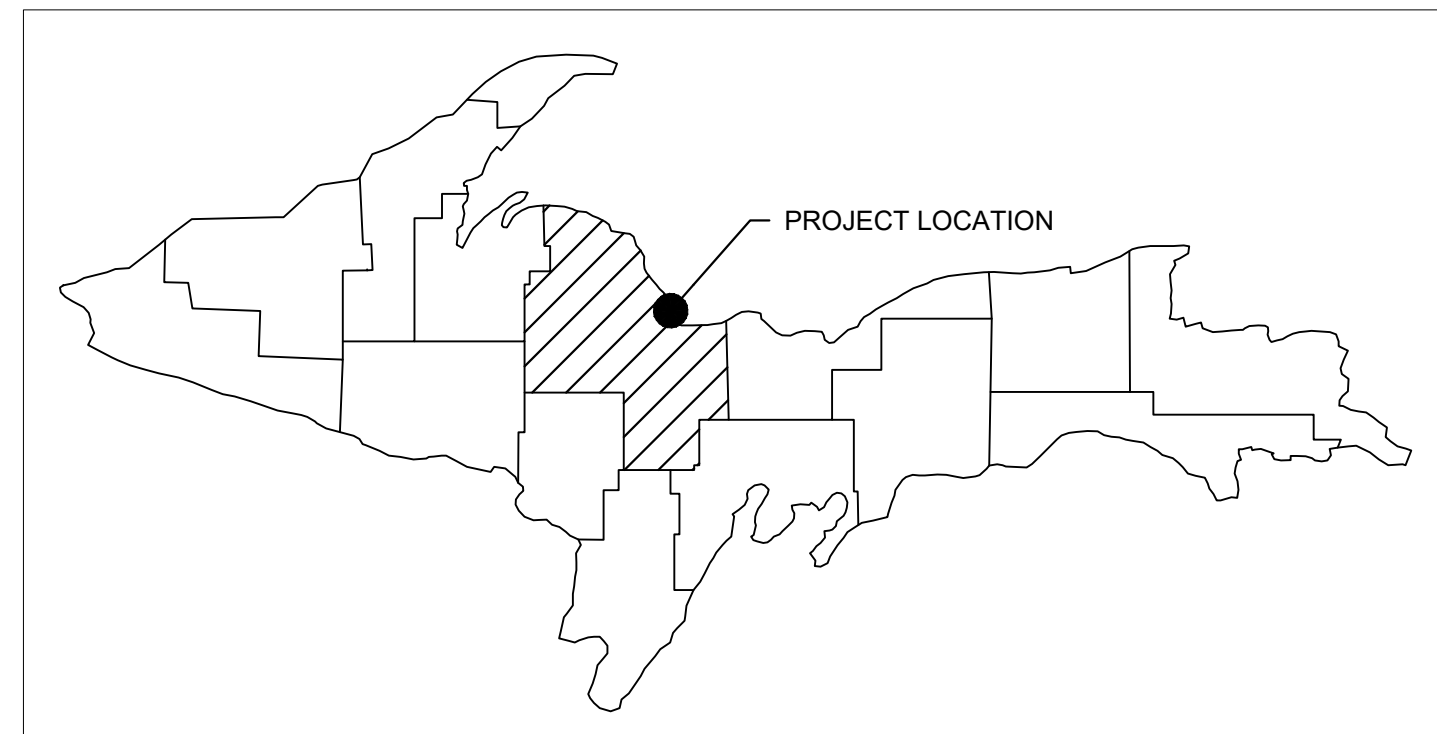
# GRIES ARCHITECTURAL GROUP

## MARQUETTE, GMC SITE DEVELOPMENT



### CITY OF MARQUETTE, MARQUETTE, MICHIGAN

WICKWIRE PROJECT NO.: 26012



#### SHEET INDEX

SHEET NO.	DRAWING NO.	DESCRIPTION
1	G-01	COVER
2	C-0	SURVEY AND DEMOLITION PLAN
3	C-0.1	SURVEY
4	C-01	SITE PLAN
5	C-02	GRADING PLAN
6	C-02.1	GRADING PLAN - CUT/FILL
7	C-03	UTILITY PLAN
8	C-04	LANDSCAPING PLAN
9	E0.2	SITE PHOTOMETRIC PLAN
10	D-01	DETAILS
11	D-02	DETAILS
12	D-03	DETAILS
13	D-04	DETAILS
14	A-0.1	ARCHITECTURAL SITE PLANS
15	A-1.1	KEY PLAN - OVERALL
16	A-1.2	KEY PLAN - AREA "A"
17	A-1.4	KEY PLAN - AREA "B"
18	A-1.6	MEZZANINE FLOOR PLAN
19	A-4.1	ELEVATIONS
20	A-4.2	ELEVATIONS
21	A-4.3	FINISH SCHEDULE
22	A-4.4	EXTERIOR ELEVATIONS

PREPARED FOR:  
ARCHITECT  
**GRIES ARCHITECTURAL GROUP**  
500 N. COMMERCIAL ST.  
NEENAH, WISCONSIN 54956

ARCHITECT & MEP ENGINEERING  
BRANNIN GRIES  
GRIES ARCHITECTURAL GROUP INC.  
500 NORTH COMMERCIAL STREET  
NEENAH, WI 54956  
(920) 722-2445  
BGRIES@GRIES.DESIGN

CIVIL ENGINEER  
BRIAN SAVOLAINEN  
MI PROFESSIONAL ENGINEER NO. 6201040601  
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715 SELDEN RD.  
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BSAVOLAINEN@WICKWIRESOLUTIONS.COM

SURVEYOR  
THADDEUS GOODWIN  
MICHIGAN PROFESSIONAL SURVEYOR NO. 4001046667  
NORTH COUNTRY SURVEYING, PLLC  
554 LITTLE LAKE ROAD  
MARQUETTE, MICHIGAN 49855  
(906)250-3148  
THAD@NORTHCOUNTRYSURVEYING.COM

PROJECT OWNER  
HAYES PIKER, PRESIDENT  
MARQUETTE GMC  
919 W. BARAGA AVENUE  
MARQUETTE, MICHIGAN 49855  
(507)250-7480  
HAYESPIKER@HOTMAIL.COM

PREPARED BY:  
**WICKWIRE, P.C.**  
715 SELDEN RD  
IRON RIVER, MI 49935  
906.265.9865

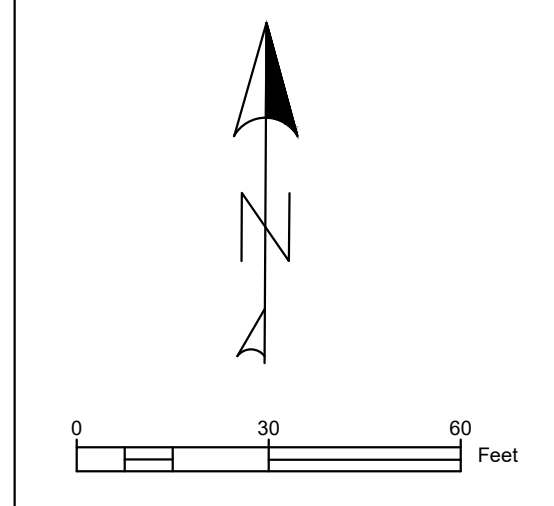
#### ENGINEER'S CERTIFICATE

THE SITE PLAN REVIEW WITH THE CITY OF MARQUETTE, MICHIGAN  
PROFESSIONAL ENGINEER IN THE STATE OF MICHIGAN SIGNED BELOW.

SIGNED:  DATED: 4/7/26  
BRIAN M. SAVOLAINEN, P.E. NO. 6201040601

NO.	DATE	DESCRIPTION	DWG. NO.
5	4/7/26	SITE PLAN REVIEW	G-01
4	3/24/26	CITY REVIEW 2	
3	4/22/25	CITY REVIEW	
2	4/7/25	REVIEW	
1	3/17/25	REVIEW	
			REV 1
			SHEET NO. 1

OWNER  
YELLOW COMPANY LLC  
919 W BARAGA AVE  
MARQUETTE, MI 49855  
PARCEL NO.: 0910120



WICKWIRE, P.C.  
715 Selden Road  
Iron River, MI 49935  
tel 906-265-9865  
wickwiresolutions.com

GRIES ARCHITECTURAL GROUP  
- MARQUETTE GMC  
DEALERSHIP

SURVEY AND DEMOLITION  
PLAN

OWNER  
O'DOVERO PETER  
110 AIRPORT RD  
NEGAUNEE, MI 49866  
PARCEL NO.: 0514240

**ZONING NOTES**

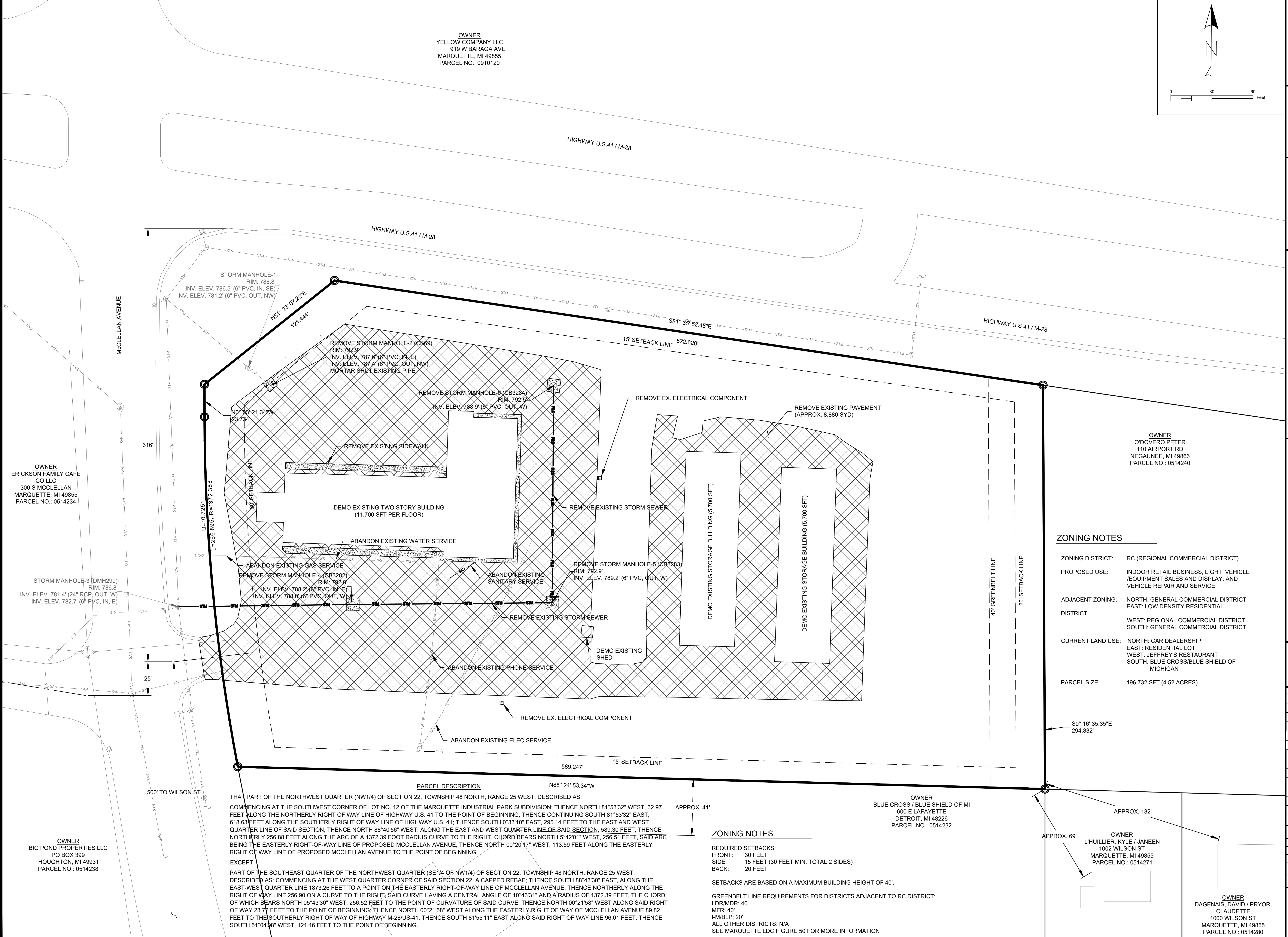
ZONING DISTRICT: RC (REGIONAL COMMERCIAL DISTRICT)  
 PROPOSED USE: INDOOR RETAIL BUSINESS, LIGHT VEHICLE /EQUIPMENT SALES AND DISPLAY, AND VEHICLE REPAIR AND SERVICE  
 ADJACENT ZONING: NORTH: GENERAL COMMERCIAL DISTRICT  
 EAST: LOW DENSITY RESIDENTIAL  
 DISTRICT WEST: REGIONAL COMMERCIAL DISTRICT  
 SOUTH: GENERAL COMMERCIAL DISTRICT  
 CURRENT LAND USE: NORTH: CAR DEALERSHIP  
 EAST: RESIDENTIAL LOT  
 WEST: JEFFREY'S RESTAURANT  
 SOUTH: BLUE CROSS/BLUE SHIELD OF MICHIGAN  
 PARCEL SIZE: 196,732 SFT (4.52 ACRES)

Attention: 1"  
 If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
3/17/25	REVIEW
4/4/25	REVIEW
4/22/25	CITY REVIEW
3/24/26	CITY REVIEW 2
4/7/26	SITE PLAN REVIEW

Designed By: LBS  
 Checked By: BMS  
 Drawn By: LBS  
 Approved By: BMS  
 PROJECT # 26012  
 SHEET NO. 2

DWG. NO.  
C-0



OWNER  
ERICKSON FAMILY CAFE  
CO LLC  
300 S MCCLELLAN  
MARQUETTE, MI 49855  
PARCEL NO.: 0514234

STORM MANHOLE-3 (DMH299)  
RIM: 786.8'  
INV. ELEV. 781.4' (24" RCP, OUT, W)  
INV. ELEV. 782.7' (6" PVC, IN, E)

OWNER  
BIG POND PROPERTIES LLC  
PO BOX 399  
HOUGHTON, MI 49931  
PARCEL NO.: 0514238

OWNER  
BLUE CROSS / BLUE SHIELD OF MI  
600 E LAFAYETTE  
DETROIT, MI 48226  
PARCEL NO.: 0514232

OWNER  
L'HULLIER, KYLE / JANEEN  
1002 WILSON ST  
MARQUETTE, MI 49855  
PARCEL NO.: 0514271

OWNER  
DAGENAIS, DAVID / PRYOR,  
CLAUDETTE  
1000 WILSON ST  
MARQUETTE, MI 49855  
PARCEL NO.: 0514280

**PARCEL DESCRIPTION**  
 N88° 24' 53.34"W  
 THAT PART OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 22, TOWNSHIP 48 NORTH, RANGE 25 WEST, DESCRIBED AS:  
 COMMENCING AT THE SOUTHWEST CORNER OF LOT NO. 12 OF THE MARQUETTE INDUSTRIAL PARK SUBDIVISION; THENCE NORTH 81°53'32" WEST, 32.97 FEET ALONG THE NORTHERLY RIGHT OF WAY LINE OF HIGHWAY U.S. 41 TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 81°53'32" EAST, 618.63 FEET ALONG THE SOUTHERLY RIGHT OF WAY LINE OF HIGHWAY U.S. 41; THENCE SOUTH 0°33'10" EAST, 295.14 FEET TO THE EAST AND WEST QUARTER LINE OF SAID SECTION; THENCE NORTH 88°40'56" WEST, ALONG THE EAST AND WEST QUARTER LINE OF SAID SECTION, 589.30 FEET; THENCE NORTHERLY 256.88 FEET ALONG THE ARC OF A 1372.39 FOOT RADIUS CURVE TO THE RIGHT, CHORD BEARS NORTH 5°42'01" WEST, 256.51 FEET, SAID ARC BEING THE EASTERLY RIGHT-OF-WAY LINE OF PROPOSED MCCLELLAN AVENUE; THENCE NORTH 00°20'17" WEST, 113.59 FEET ALONG THE EASTERLY RIGHT OF WAY LINE OF PROPOSED MCCLELLAN AVENUE TO THE POINT OF BEGINNING.  
 EXCEPT  
 PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE1/4 OF NW1/4) OF SECTION 22, TOWNSHIP 48 NORTH, RANGE 25 WEST, DESCRIBED AS: COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, A CAPPED REBAE; THENCE SOUTH 88°43'30" EAST, ALONG THE EAST-WEST QUARTER LINE 1873.26 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF MCCLELLAN AVENUE; THENCE NORTHERLY ALONG THE RIGHT OF WAY LINE 256.90 ON A CURVE TO THE RIGHT, SAID CURVE HAVING A CENTRAL ANGLE OF 10°43'31" AND A RADIUS OF 1372.39 FEET, THE CHORD OF WHICH BEARS NORTH 05°43'30" WEST, 256.52 FEET TO THE POINT OF CURVATURE OF SAID CURVE; THENCE NORTH 00°21'58" WEST ALONG SAID RIGHT OF WAY 23.77 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00°21'58" WEST ALONG THE EASTERLY RIGHT OF WAY OF MCCLELLAN AVENUE 89.82 FEET TO THE SOUTHERLY RIGHT OF WAY OF HIGHWAY M-28/US-41; THENCE SOUTH 81°55'11" EAST ALONG SAID RIGHT OF WAY LINE 96.01 FEET; THENCE SOUTH 51°04'48" WEST, 121.46 FEET TO THE POINT OF BEGINNING.

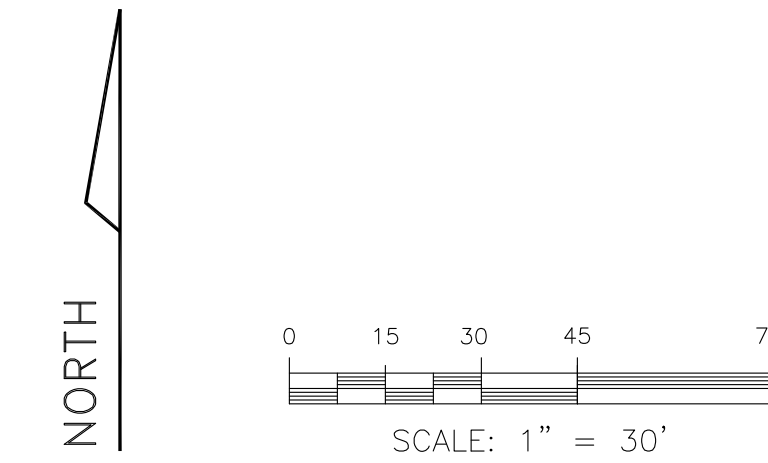
**ZONING NOTES**  
 REQUIRED SETBACKS:  
 FRONT: 30 FEET  
 SIDE: 15 FEET (30 FEET MIN. TOTAL 2 SIDES)  
 BACK: 20 FEET  
 SETBACKS ARE BASED ON A MAXIMUM BUILDING HEIGHT OF 40'.  
 GREENBELT LINE REQUIREMENTS FOR DISTRICTS ADJACENT TO RC DISTRICT:  
 LDR/MDR: 40'  
 MFR: 40'  
 I-M/BLP: 20'  
 ALL OTHER DISTRICTS: N/A  
 SEE MARQUETTE LDC FIGURE 50 FOR MORE INFORMATION

# TOPOGRAPHIC SURVEY BASE MAP OF THE FORMER VALUE HOST MOTER INN LOCATED AT 1101 U.S. 41, MARQUETTE, MI

PROPERTY OWNED BY (Marquette Hospitality, Inc.)  
LEGAL DESCRIPTION RECORDED AT MARQUETTE COUNTY  
DOCUMENT NUMBER 2022R-04217

That part of the Northwest Quarter (NW1/4) of Section 22, Township 48 North, Range 25 West, described as: Commencing at the southwest corner of Lot No. 12 of the Marquette Industrial Park Subdivision; thence North 81°53'32" West, 32.97 feet along the Northerly right of way line of Highway U.S. 41 to the Point of Beginning; thence continuing South 81°53'32" East, 618.63 feet along the Southerly right of way line of Highway U.S.41; thence South 0°33'10" East, 295.14 feet to the East and West Quarter line of said Section; thence North 88°40'56" West, along the East and West quarter line of said Section, 589.30 feet; thence Northerly 256.88 feet along the arc of a 1372.39 foot radius curve to the right, chord bears North 5°42'01" West, 256.51 feet, said arc being the Easterly right-of-way line of proposed McClellan Avenue; thence North 00°20'17" West, 113.59 feet along the Easterly right of way line of proposed McClellan Avenue to the Point of Beginning.

PREPARED FOR:  
**Gries Architectural Group, Inc**  
500 North Commercial Street  
Neenah, WI 54956

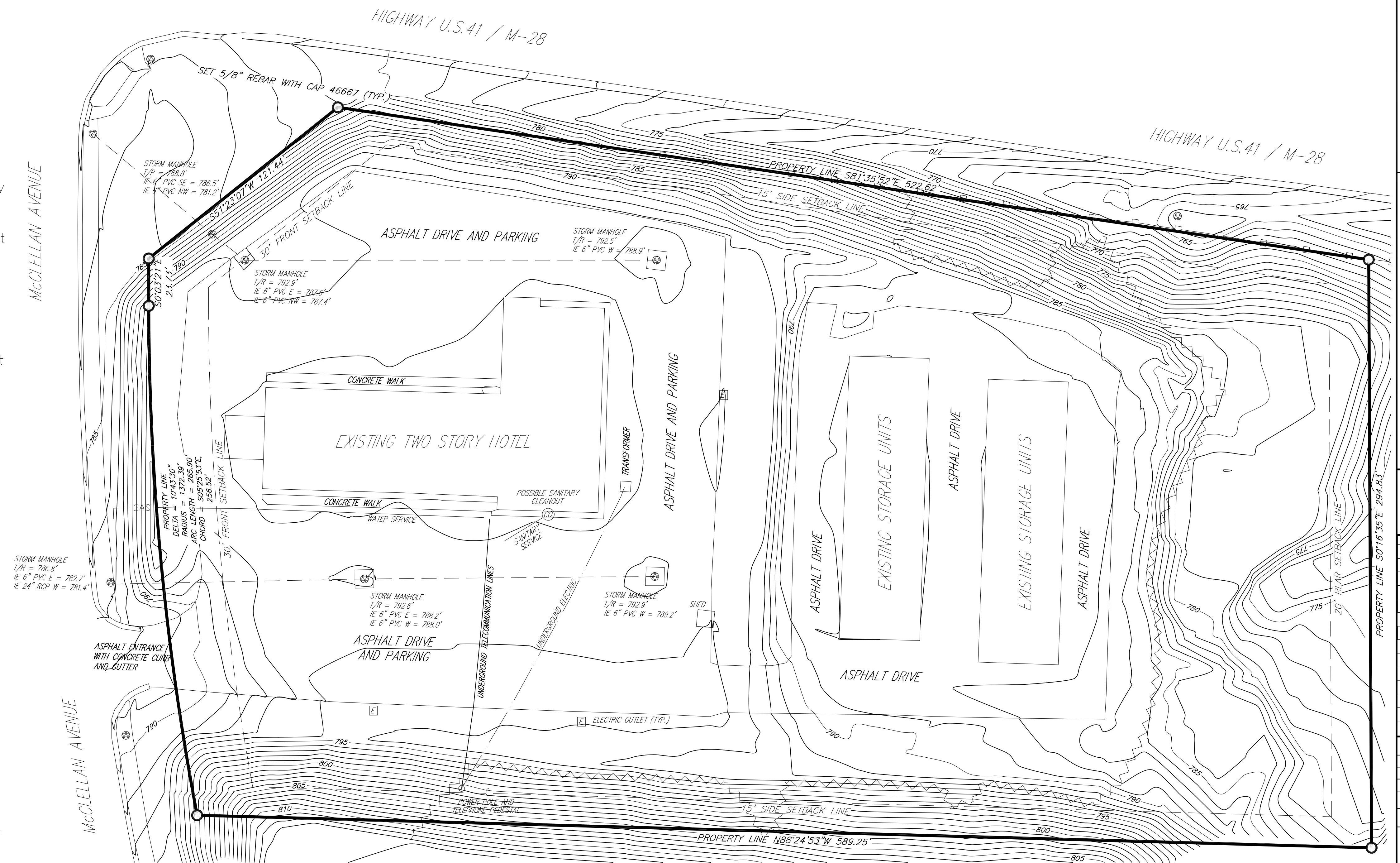


**WICKWIRE**  
WICKWIRE, P.C.  
715 Selden Road  
Iron River, MI 49935  
tel 906-265-9865  
wickwiresolutions.com

GRIES ARCHITECTURAL GROUP  
- MARQUETTE GMC  
DEALERSHIP

EXCEPT

Part of the Southeast Quarter of the Northwest Quarter (SE1/4 of NW1/4) of Section 22, Township 48 North, Range 25 West, described as: Commencing at the West Quarter corner of said Section 22, a capped rebar; thence South 88°43'30" East, along the East-West Quarter line 1873.26 feet to a point on the Easterly right-of-way line of McClellan Avenue; thence Northerly along the right of way line 256.90 on a curve to the right, said curve having a central angle of 10°43'31" and a radius of 1372.39 feet, the chord of which bears North 05°43'30" West, 256.52 feet to the Point of Curvature of said curve; thence North 00°21'58" West along said right of way 23.77 feet to the Point of Beginning; thence North 00°21'58" West along the Easterly right of way of McClellan Avenue 89.82 feet to the Southerly right of way of Highway M-28/US-41; thence South 81°55'11" East along said right of way line 96.01 feet; thence South 51°04'08" West, 121.46 feet to the Point of Beginning.



**NORTH COUNTRY SURVEYING, PLLC**  
554 LITTLE LAKE ROAD - MARQUETTE, MI 49855  
PHONE (906)250-3148  
thad@northcountrysurveying.com

SURVEY

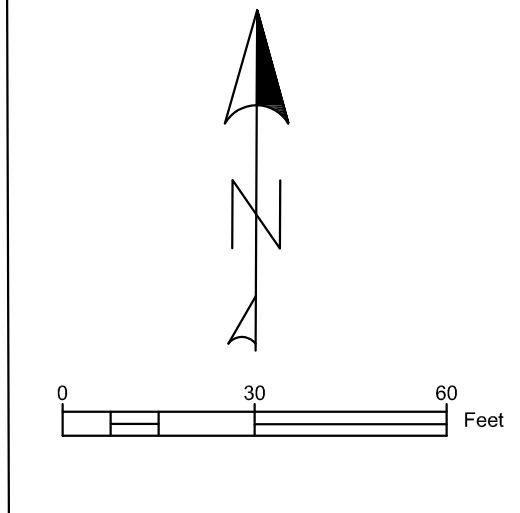
Attention: 1"  
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
3/17/25	REVIEW
4/4/25	REVIEW
4/22/25	CITY REVIEW
3/24/26	CITY REVIEW 2
4/17/26	SITE PLAN REVIEW

Designed By: LBS  
Checked By: BMS  
Drawn By: LBS  
Approved By: BMS  
PROJECT # 24052  
SHEET NO. 3

DWG. NO.  
C-0.1

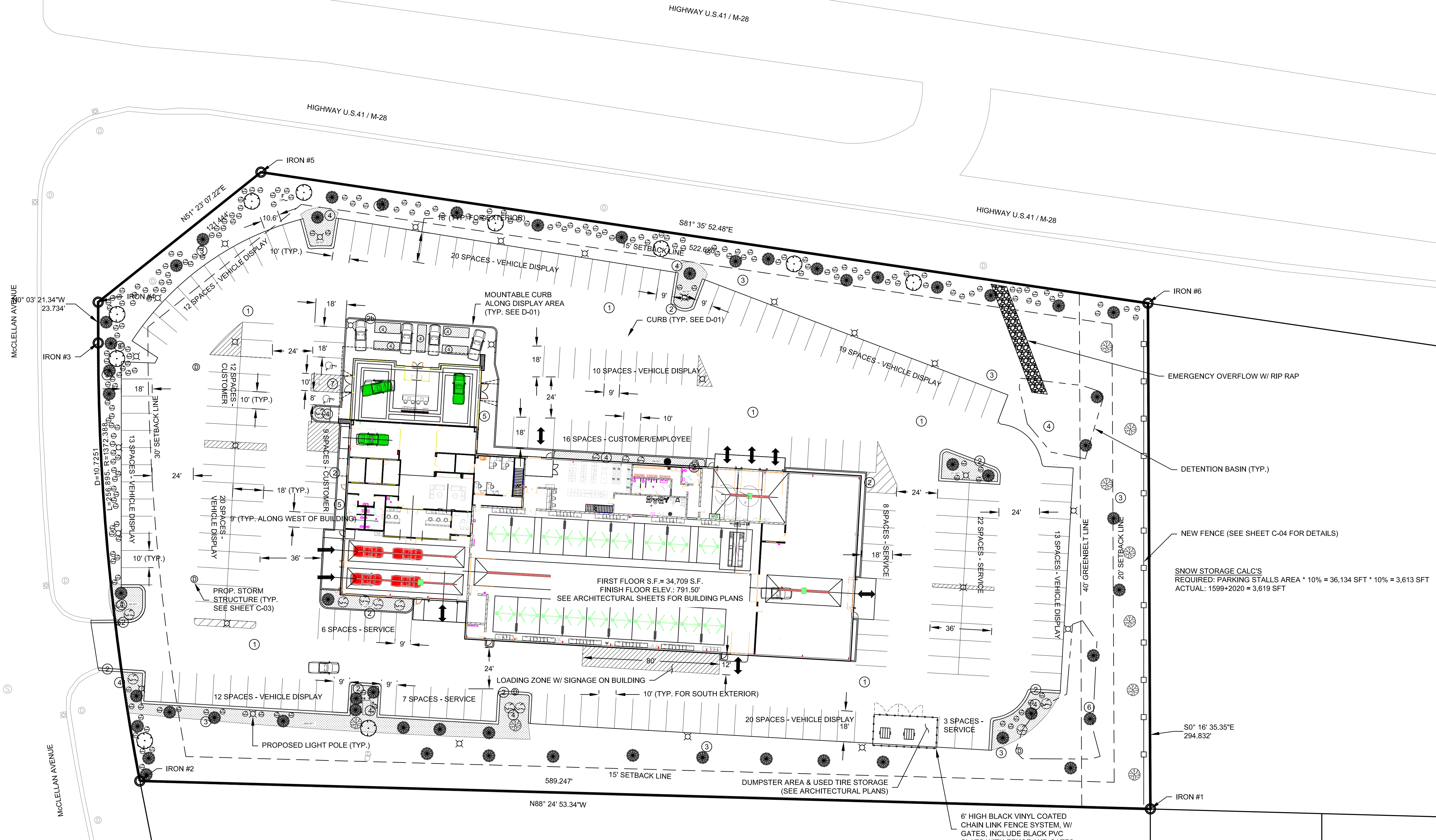
- KEYNOTES**
- ① PAVEMENT (SEE SHEET D-01)
  - ② CURB (SEE SHEET D-01)
  - ②b MOUNTABLE CURB (SEE SHEET D-01)
  - ③ RESTORATION
  - ④ LANDSCAPING
  - ⑤ SIDEWALK (SEE SHEET D-01)
  - ⑥ DETENTION BASIN & SNOW STORAGE
  - ⑦ CURB RAMP IN ACCORDANCE WITH ADA STANDARD 406



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- MARQUETTE GMC  
DEALERSHIP

SITE PLAN



**PROPERTY IRON TABLE**

IRON NUMBER	NORTHING	EASTING	ELEVATION
1	641655.6589	26141744.2511	781.63
2	641671.9689	26141155.2446	798.8100
3	641927.3464	26141130.9627	792.72
4	641951.0963	26141130.9577	784.38
5	642026.8633	26141225.8521	781.36
6	641950.5042	26141742.8599	766.93

- LEGEND**
- ⊕ PROPOSED STORM SEWER STRUCTURE
  - ⊖ EXISTING STORM SEWER STRUCTURE
  - ⊗ PROPOSED CATCH BASIN
  - ⊘ EXISTING CATCH BASIN
  - ⊙ PROPOSED SANITARY SEWER STRUCTURE
  - ⊚ EXISTING SANITARY SEWER STRUCTURE
  - ⊛ PROPOSED WATER VALVE
  - ⊜ EXISTING WATER VALVE
  - ⊝ EXISTING COMMUNICATIONS BOX
  - ⊞ EXISTING POWER POLE
  - ⊟ PROPOSED LIGHT POLE

CUSTOMER/EMPLOYEE REQUIRED:  
34,709 SFT X 1 SPACE/1,000 SFT = 34.7 SPACES  
ADA SPACES: 2

SERVICE REQUIRED: OFFICE/SALES/WAITING ROOM SFT x 1 SPACE/300 SFT + 2  
SPACES/STALL = 5,774 SFT/300+19x2 = 19.2+38 SPACE = 57.2 SPACES  
PARKING REDUCTION: 60% = 34.35

TOTAL = 34.7+34.4 = 69.1 SPACES

ACTUAL:  
CUSTOMER/EMPLOYEE SPACES (RETAIL USE): 9+16+12 = 37 SPACES (INCLUDES 2 ADA)  
SERVICE SPACES: 6+7+3+22+8 = 46  
TOTAL: 28+46 = 83 SPACES

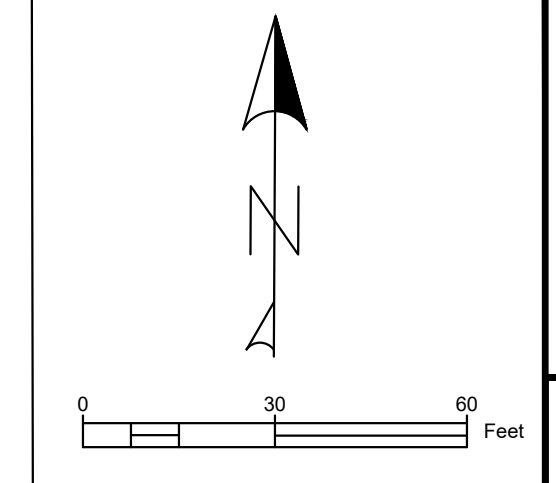
VEHICLE DISPLAY AREA: 20 + 13 + 19 + 10 + 20 + 12 + 13 + 20 + 12 = 139 SPACES (222 TOTAL)

Attention: 1" = 100'  
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
3/17/25	REVIEW
4/4/25	REVIEW
4/22/25	CITY REVIEW
3/24/26	CITY REVIEW 2
4/7/26	SITE PLAN REVIEW

Designed By: LBS  
Checked By: BMS  
Drawn By: LBS  
Approved By: BMS  
PROJECT # 26012  
SHEET NO. 4

DWG. NO.  
C-01



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DEALERSHIP

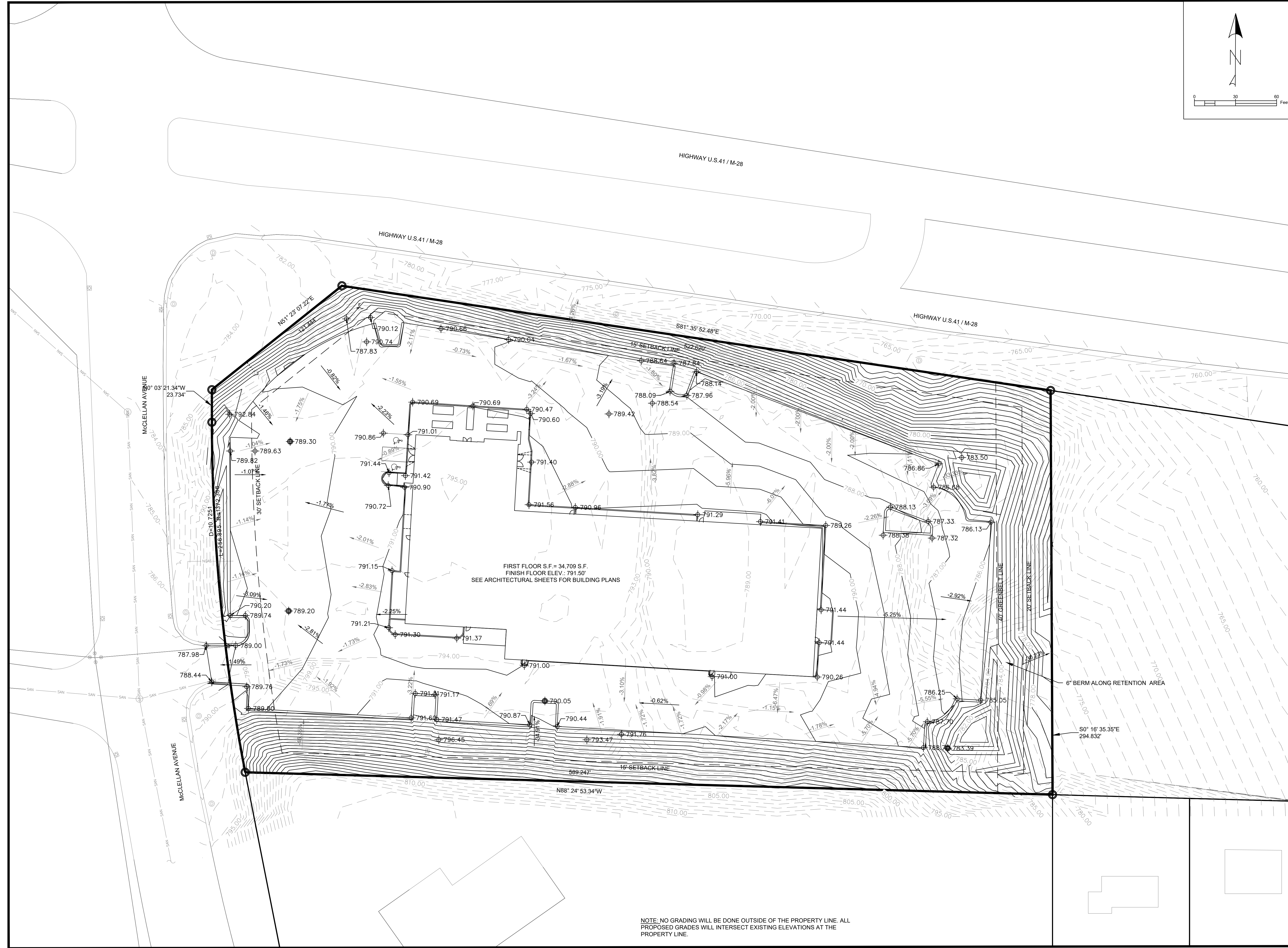
GRADING PLAN

Attention: 1"  
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
3/17/25	REVIEW
4/4/25	REVIEW
4/22/25	CITY REVIEW
3/24/26	CITY REVIEW 2
4/7/26	SITE PLAN REVIEW

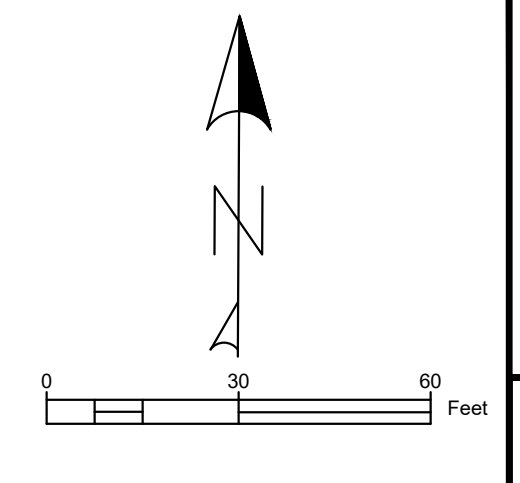
Designed By: LBS  
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Drawn By: LBS  
Approved By: BMS  
PROJECT # 26012  
SHEET NO. 5

DWG. NO.  
C-02



**Cut/Fill Summary**

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
cutfill	1.000	1.000	197514.75 Sq. Ft.	10099.89 Cu. Yd.	5657.55 Cu. Yd.	4442.34 Cu. Yd.<Cut>
Totals			197514.75 Sq. Ft.	10099.89 Cu. Yd.	5657.55 Cu. Yd.	4442.34 Cu. Yd.<Cut>



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GRIES ARCHITECTURAL GROUP  
- MARQUETTE GMC  
DEALERSHIP

GRADING PLAN - CUT/FILL



**KEY**

CUT ≥ 0.25'

FILL ≥ 0.25'

NOTE: NO GRADING WILL BE DONE OUTSIDE OF THE PROPERTY LINE. ALL PROPOSED GRADES WILL INTERSECT EXISTING ELEVATIONS AT THE PROPERTY LINE.  
APPROX. CUT/FILL LABELS ARE IN FEET.

Attention: 1"  
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3/17/25	REVIEW
4/4/25	REVIEW
4/22/25	CITY REVIEW
3/24/26	CITY REVIEW 2
4/7/26	SITE PLAN REVIEW

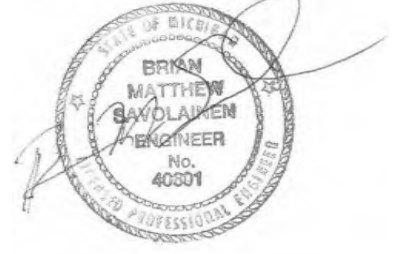
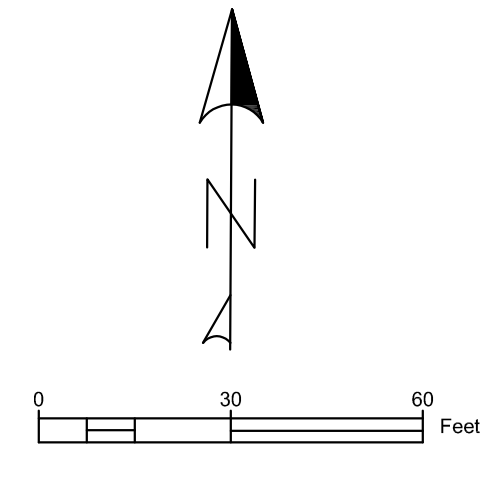
Designed By: LBS  
Checked By: BMS  
Drawn By: LBS  
Approved By: BMS  
PROJECT # 26012  
SHEET NO. 6

DWG. NO.  
C-02.1



LANDSCAPING SHALL MEET AT REQUIREMENTS OF ARTICLE 10 OF THE MARQUETTE LAND DEVELOPMENT CODE (LDC). THIS SITE REQUIRES NO STREET TREES ALONG THE RIGHT OF WAY. IN ACCORDANCE WITH MARQUETTE LDC 54.1003(A)(2) "FRONTAGE LANDSCAPING" DOES NOT APPLY TO RIGHT-OF-WAY AREAS NOT CONTROLLED BY THE CITY OF MARQUETTE."

HIGHWAY U.S.41 / M-28



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- MARQUETTE GMC  
DEALERSHIP

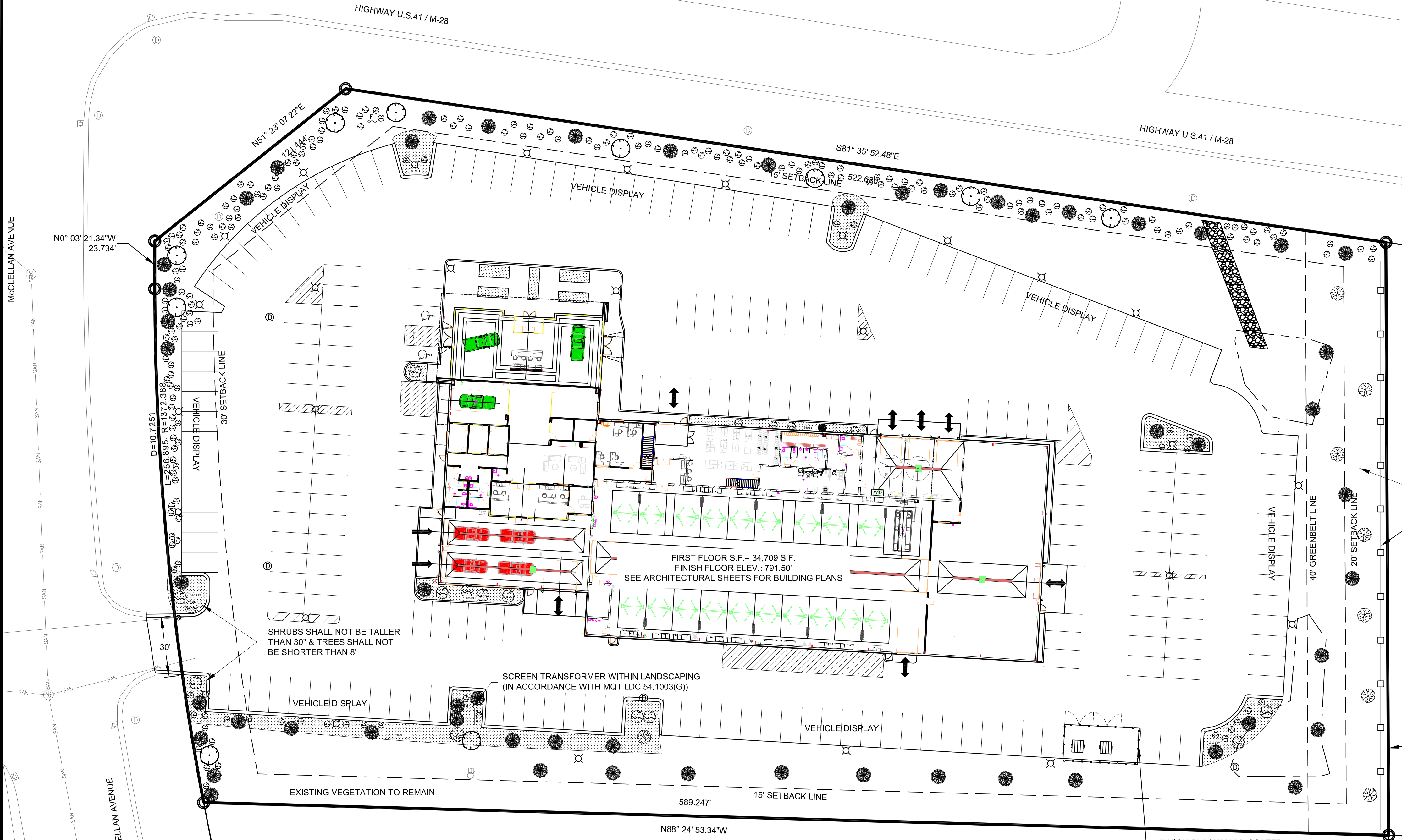
LANDSCAPING PLAN

Attention: 1"  
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
3/17/25	REVIEW
4/4/25	REVIEW
4/22/25	CITY REVIEW
3/24/26	CITY REVIEW 2
4/7/26	SITE PLAN REVIEW

Designed By: LBS  
Checked By: BMS  
Drawn By: LBS  
Approved By: BMS  
PROJECT # 26012  
SHEET NO. 8

DWG. NO.  
C-04



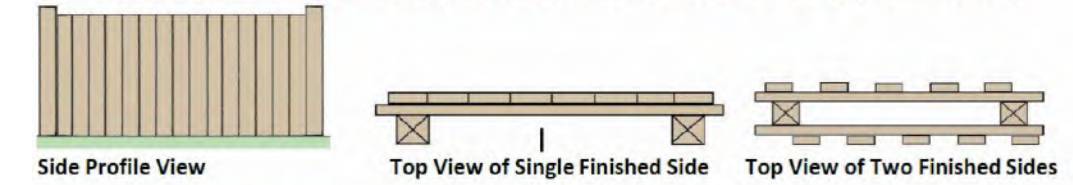
(2) Interior Parking Lot Landscaping.

- (a) **Size of Interior Parking Lot Landscaping Areas.** Interior landscaping shall account for a minimum of five percent (5%) of all paved parking areas, including parking and loading spaces, driveways, and aisles. Sidewalks within the right-of-way shall be excluded from the calculation of paved area. Each separate interior landscaped area must be a minimum of 360 square feet in area or five percent (5%) of all paved parking areas, whichever is less.
- (b) **Minimum Number of Deciduous Trees.** Each interior landscape area shall contain at least one (1) deciduous tree. One (1) deciduous tree shall be planted for each 300 square feet of interior landscaping.
- (c) **Location of Landscaping.** All required interior parking lot landscaping shall be planted within landscaped islands or in landscaped areas within 20 feet of the perimeter of the parking lot, provided that such landscaping is not also counted toward other landscape or screening requirements.
- (d) **Groundcover.** Interior parking lot landscape areas shall include groundcover of grass, perennials, shrubs, and/or hardwood mulch. Rock, stone, or pebbles are not permitted ground cover.
- (e) **Protection with Curbing or Wheel Stops.** All interior parking lot landscaping shall be protected from vehicular encroachment by six (6) inch high concrete curbing or wheel stops unless a separate method is approved by the City.
- (f) **Maximum Number of Parking Spaces in a Bay or Row.** Landscaping islands with or without walkways shall be used to subdivide parking areas into parking bays with not more than 40 spaces, provided that no more than 20 spaces shall be in an uninterrupted row.

MAINTAIN THE EXISTING VEGETATION/TREES IN THE PROPOSED GREENBELT BUFFER TO THE EXTENTS POSSIBLE

PROPOSED FENCE (4' HEIGHT, SINGLE SIDED MEETING FIGURE 35 OF MQT LDC)

Figure 35. Example of Fences with More Than 50% of the Fence Area of Solid, Opaque Construction



(D) Requirements Applicable to All Fences.

- (1) **Location.** All fences must be located on the private property of the person, firm, or corporation constructing the fence, and shall not extend toward the street beyond the front lot line.
- (2) **Construction and Materials.** Fences shall be constructed with boards, chain link construction, or other suitable material firmly connected to posts sunk in the soil at least two (2) feet or more as necessary to properly support the fence.
- (3) **Orientation of Finished Side.** Except where partition fences between two (2) properties may be erected by written agreement between the owners thereof, the finished or decorative side of the fence (e.g., the outside of the boards, chain link, or other material used in the building of a fence) shall be oriented to face outward toward the adjacent parcel or right-of-way (i.e., fixed to that side of the posts nearest to the property line).

SHRUBS SHALL NOT BE TALLER THAN 30" & TREES SHALL NOT BE SHORTER THAN 8"

SCREEN TRANSFORMER WITHIN LANDSCAPING (IN ACCORDANCE WITH MQT LDC 54.1003(G))

6' HIGH BLACK VINYL COATED CHAIN LINK FENCE SYSTEM, W/ GATES, INCLUDE BLACK PVC SLATS WITH FENCE AND GATES

**GREENSPACE CALC'S**  
REQUIRED (5%):  
103,845 SFT X 0.05 = 5,192.3 SFT  
(360 SFT EACH MIN)  
  
ACTUAL:  
1596+2699+435+360+616+371+360+366 = 5,207 SFT

**PLANTING LEGEND**

	GREENSPACE (MULCH OR GRASS)
	DECIDUOUS TREE
	EVERGREEN TREE
	SHRUB
	ORNAMENTAL TREE

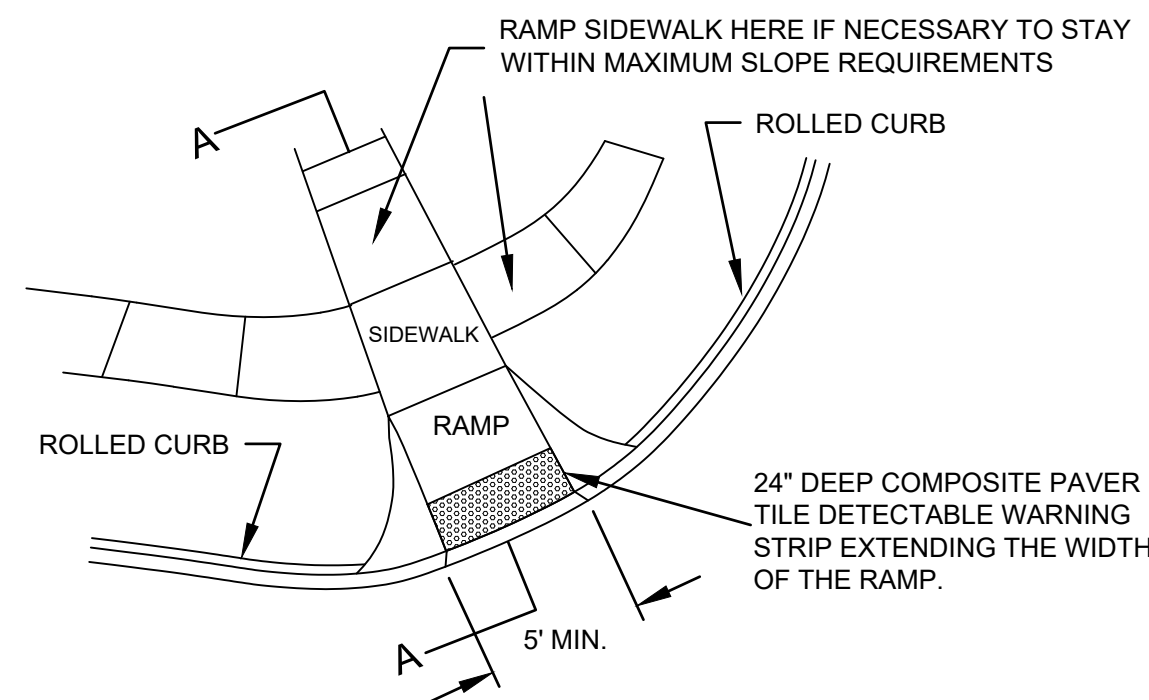
**REQUIRED NUMBER OF PLANTS**  
McCLELLAN ROAD FRONTAGE: 280.63-30=259.63 FT  
DECIDUOUS/EVERGREEN TREES: 260 FT/40 FT = 7 TREES  
ORNAMENTAL TREES: 260 FT/100 FT = 3 TREES  
SHRUBS: 260 FT/40 FT X 8= 52 SHRUBS

US-41 ROAD FRONTAGE: 644.06 FT  
DECIDUOUS/EVERGREEN TREES: 644 FT/40 FT = 16 TREES  
ORNAMENTAL TREES: 644 FT/100 FT = 6 TREES  
SHRUBS: 644 FT/40 FT X 8= 129 SHRUBS

**PROPOSED NUMBER OF PLANTS**  
ROAD FRONTAGE:  
DECIDUOUS/EVERGREEN TREES: 52 TREES (7 McCLELLAN & 16 US-41)  
ORNAMENTAL TREES: 9 TREES (3 McCLELLAN & 6 US-41)  
SHRUBS: 179 SHRUBS (52 McCLELLAN & 129 US-41)

**TOTAL PLANTS:**  
DECIDUOUS/EVERGREEN TREES: 66 TREES  
ORNAMENTAL TREES: 10 TREES  
SHRUBS: 230 SHRUBS





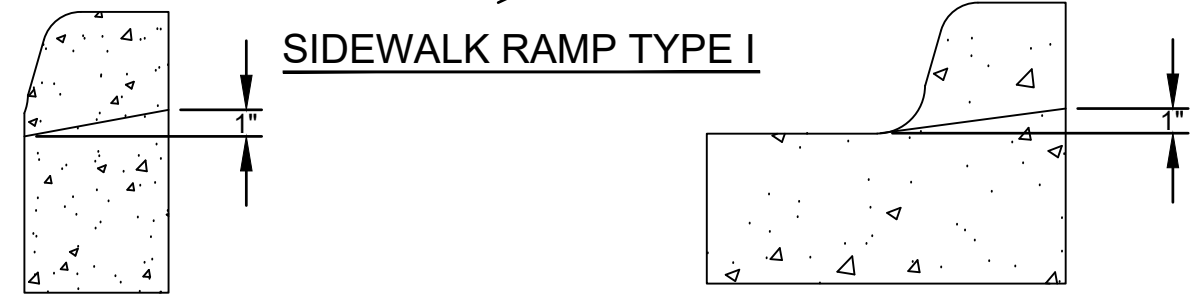
**NOTES:**

1. CONCRETE SIDEWALK SHALL BE SAWCUT FULL DEPTH TO A NEAT AND TRIM LINE PRIOR TO REPLACEMENT.
2. CONCRETE SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-J OR THE LATEST VERSION THEREOF.
3. ANY EXISTING SIDEWALK WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.
4. CONCRETE SIDEWALK SHALL BE 4" FOR PEDESTRIAN TRAFFIC AND 6" FOR VEHICULAR TRAFFIC. PROVIDE CONTROL JOINTS IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-H
5. NO REINFORCEMENT SHALL BE USED IN CONCRETE SIDEWALK.
6. CROSS SLOPES SHALL NOT EXCEED 2% SLOPE.

**NOTES:**

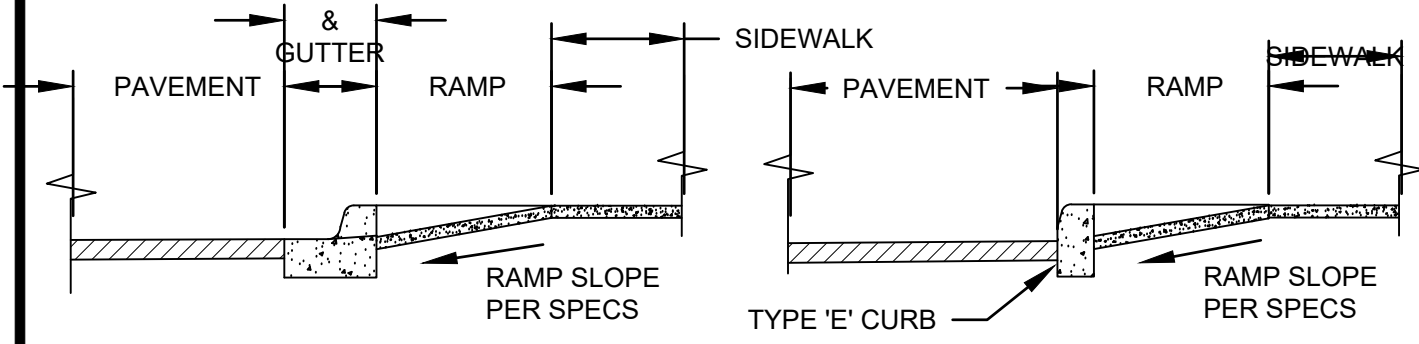
1. CONCRETE CURB AND/OR GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-30-F.

DETAIL	DIMENSION		LANE TIES	CONCRETE CYD / LFT
	M	N		
C2	1'-6"	7/8"	OMITTED	0.0506
C4	2'-0"	1 3/8"	OMITTED	0.0632



SECTION THRU CURB CUT

SECTION THRU CURB CUT

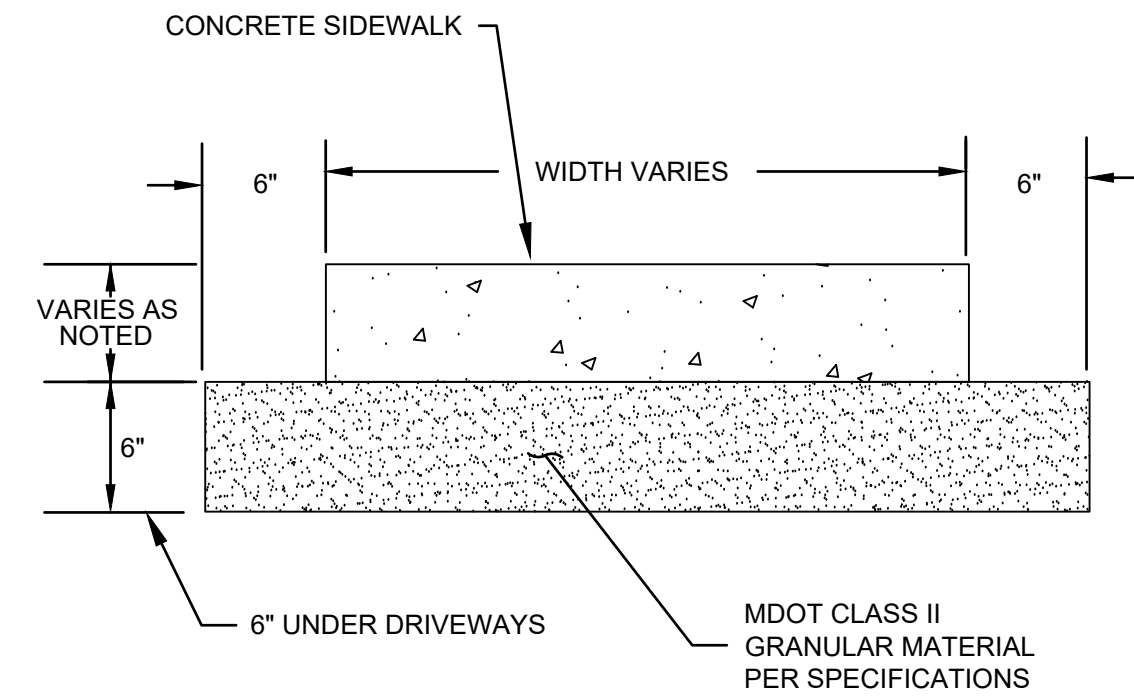


SECTION A-A (TYPICAL ALL RAMP DETAILS)

**03-021 TYPICAL SIDEWALK RAMP DETAILS**

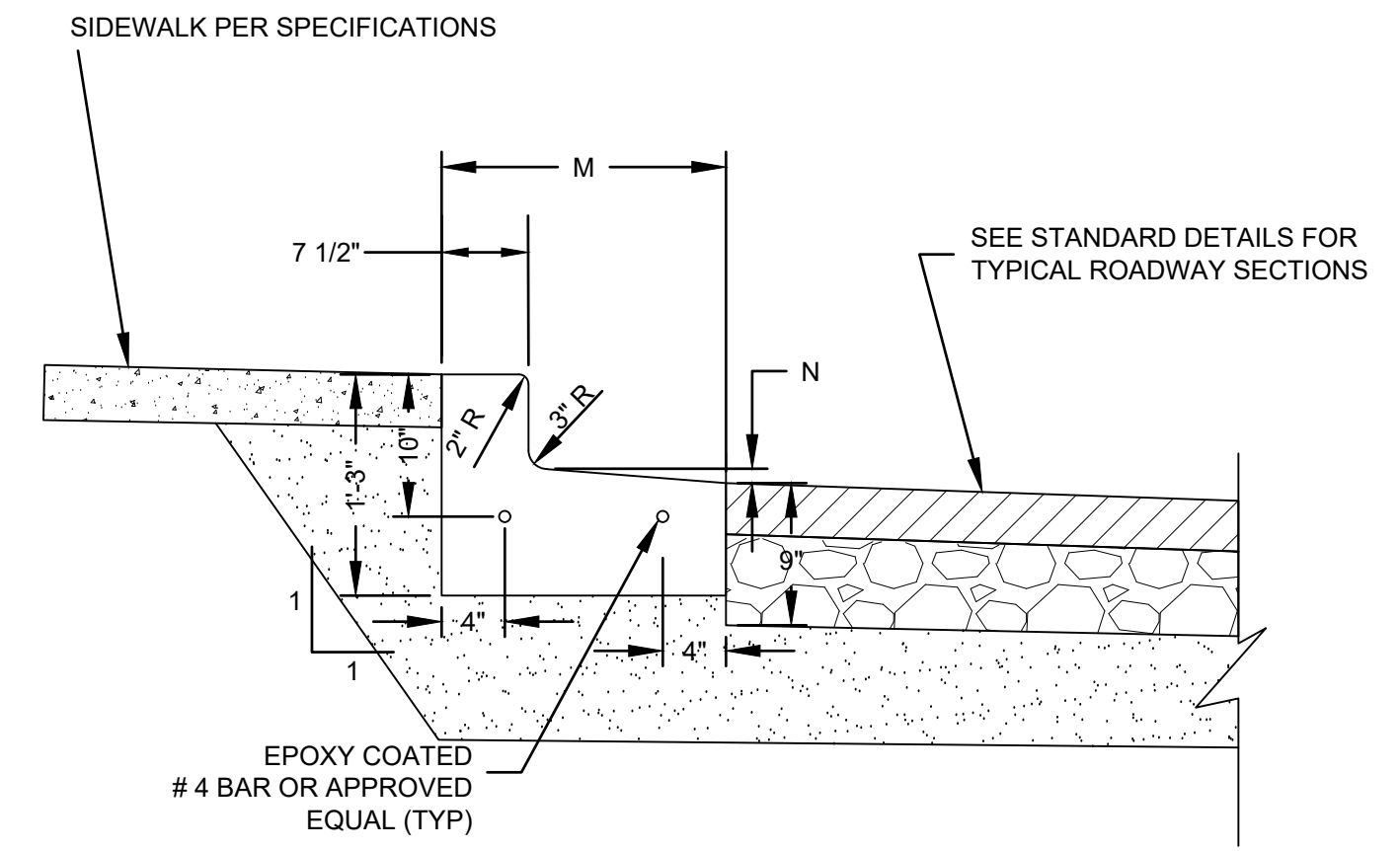
**NOTES:**

1. CONCRETE SIDEWALK RAMP SHALL BE SAWCUT TO FULL DEPTH TO A NEAT AND TRIM LINE PRIOR TO REPLACEMENT.
2. CONCRETE SIDEWALK RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-28-G, OR THE LATEST REVISION THEREOF.
3. ANY EXISTING CONCRETE SIDEWALK RAMP WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.



**03-022 CONCRETE SIDEWALK**

NO SCALE



**03-042 MOD. TYPE C CONCRETE CURB AND GUTTER DETAIL**

NO SCALE

**PARKING LOT RECONSTRUCTION REQUIREMENTS:**

1. TYPICAL CROSS SECTIONS ARE SHOWN FOR REFERENCE PURPOSES, AND REPRESENT REQUIREMENTS FOR PARKING LOT REPAIR OR RECONSTRUCTION.

**NOTES:**

1. ANY EXISTING CONCRETE WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.
2. PROVIDE CONTROL JOINTS IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-H

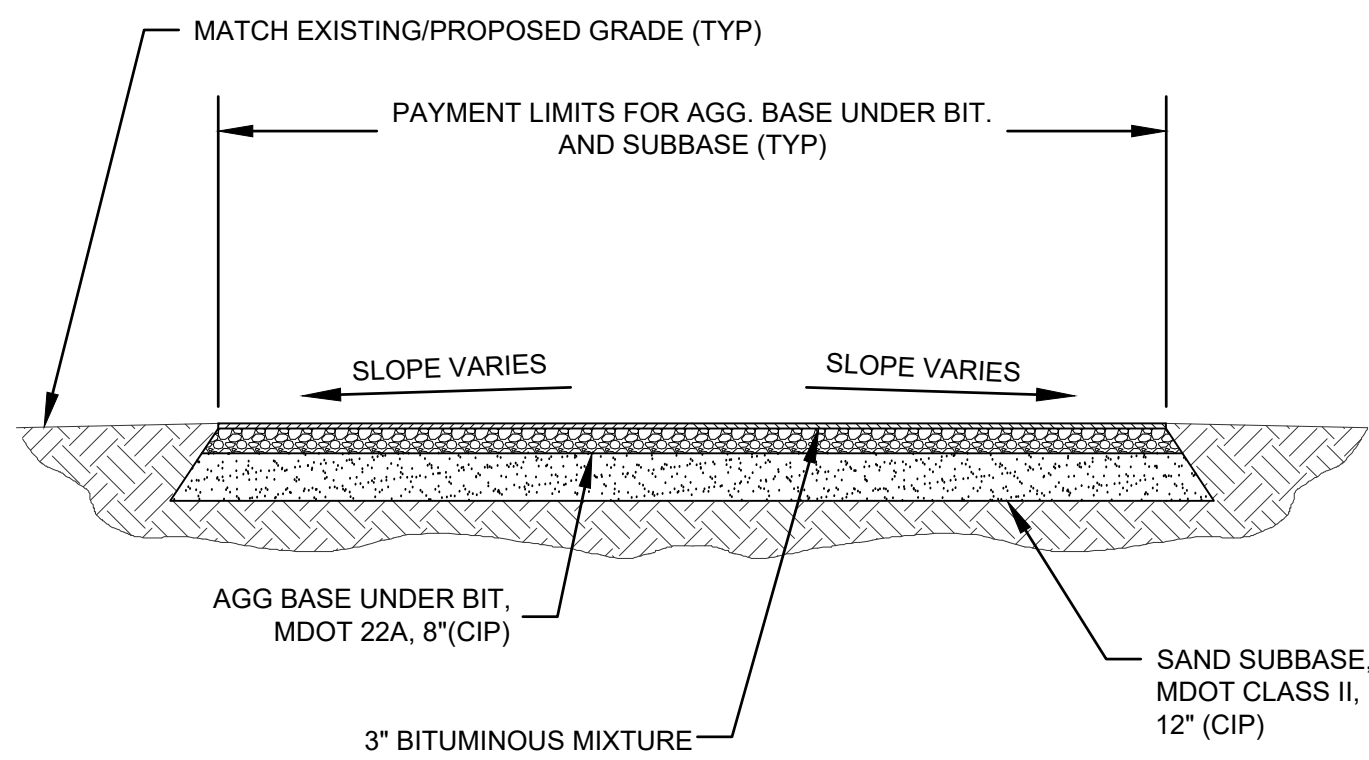
**NOTES:**

1. ANY EXISTING CONCRETE WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.
2. PROVIDE CONTROL JOINTS IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-H

**NOTES:**

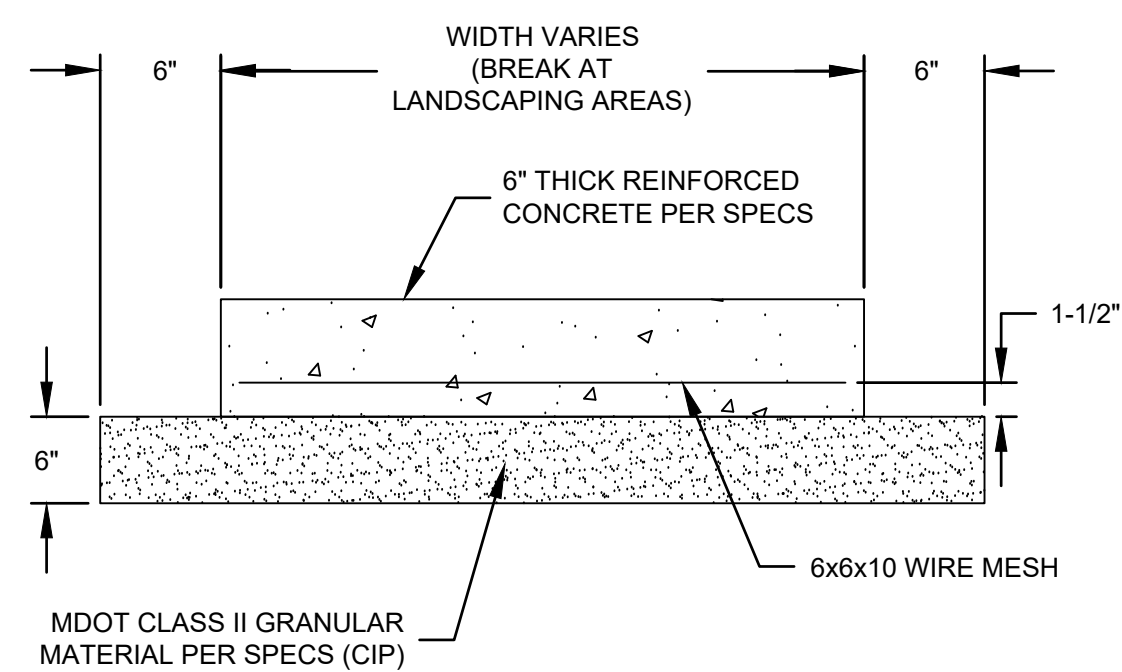
1. CONCRETE CURB AND/OR GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-30-F.

DETAIL	DIMENSION T	LANE TIES	CONCRETE CYD / LFT
D1	9"	AS SHOWN	0.0788
D2	9"	OMITTED	0.0788
D3	10"	AS SHOWN	0.0826



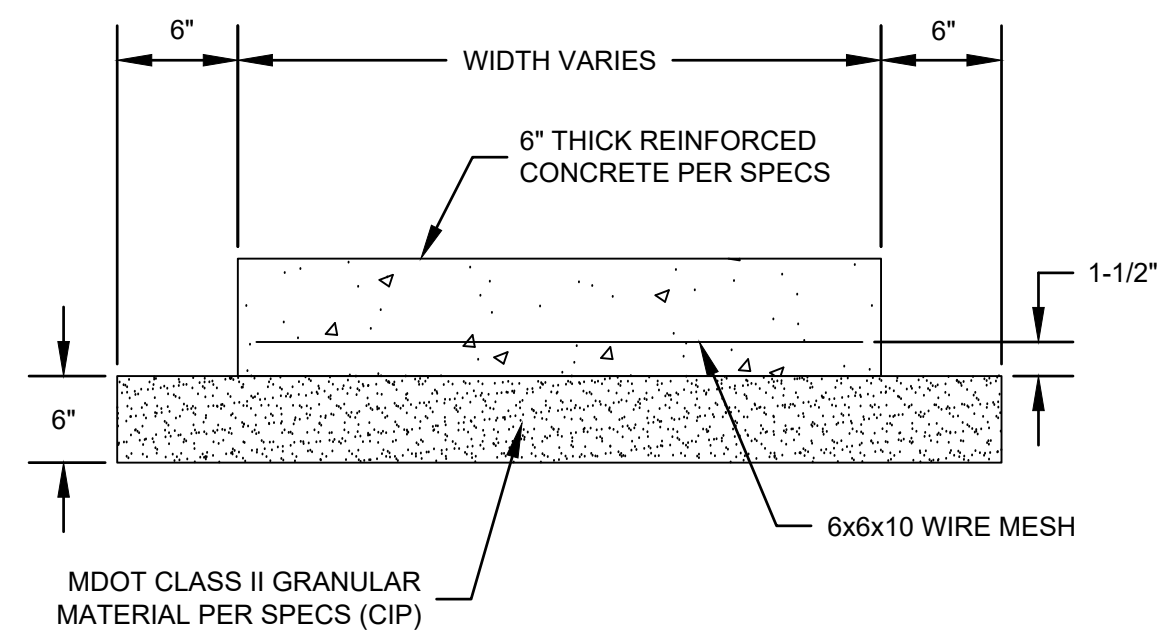
**02-023 TYPICAL ASPHALT PARKING LOT X-SECTION**

NO SCALE



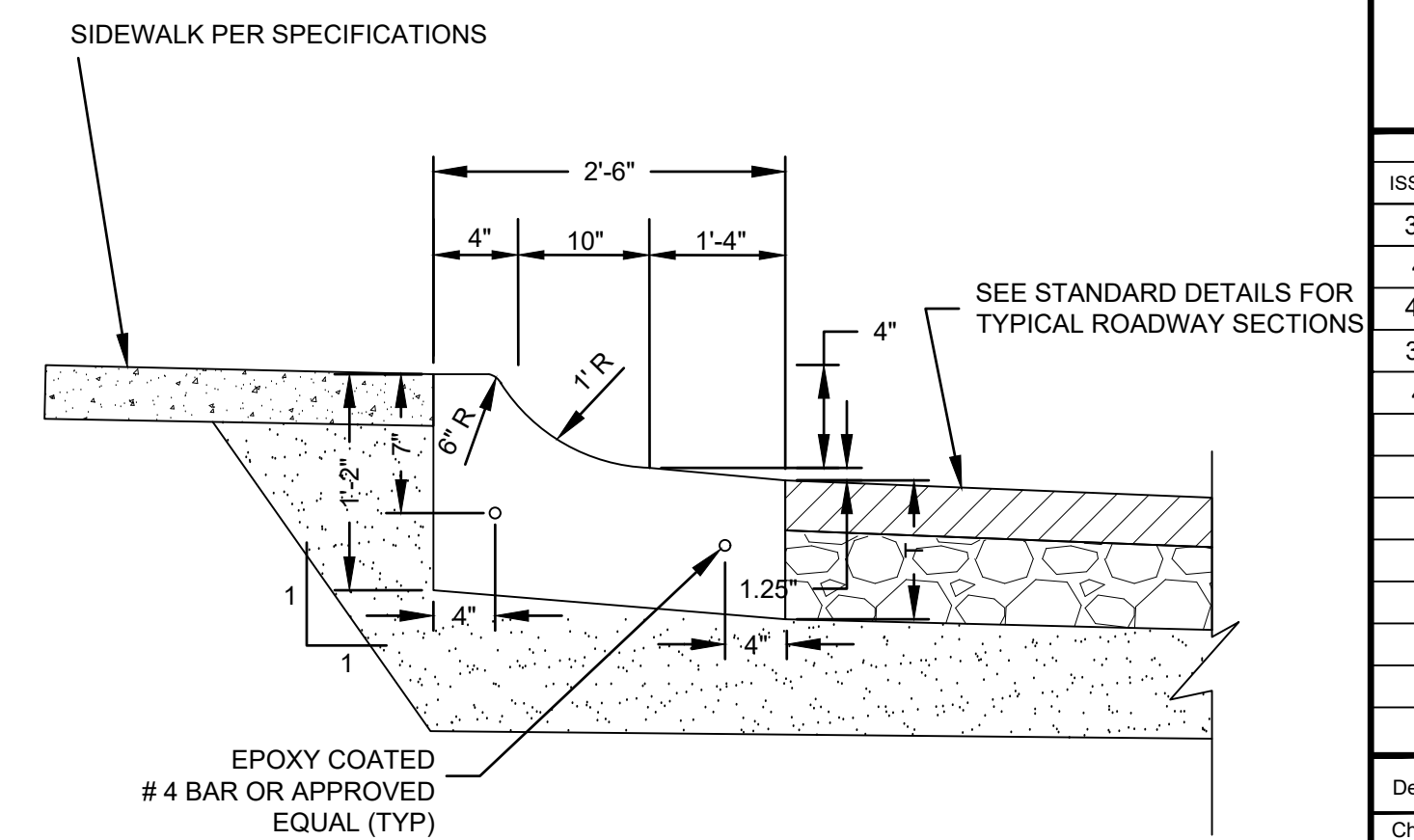
**03-011 CONCRETE DISPLAY AREA**

NO SCALE



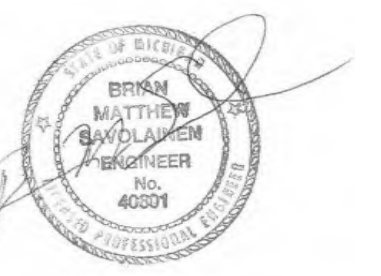
**03-011 CONCRETE PATIO**

NO SCALE



**03-042 MOD. TYPE D CONCRETE CURB AND GUTTER DETAIL**

NO SCALE



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DETAILS

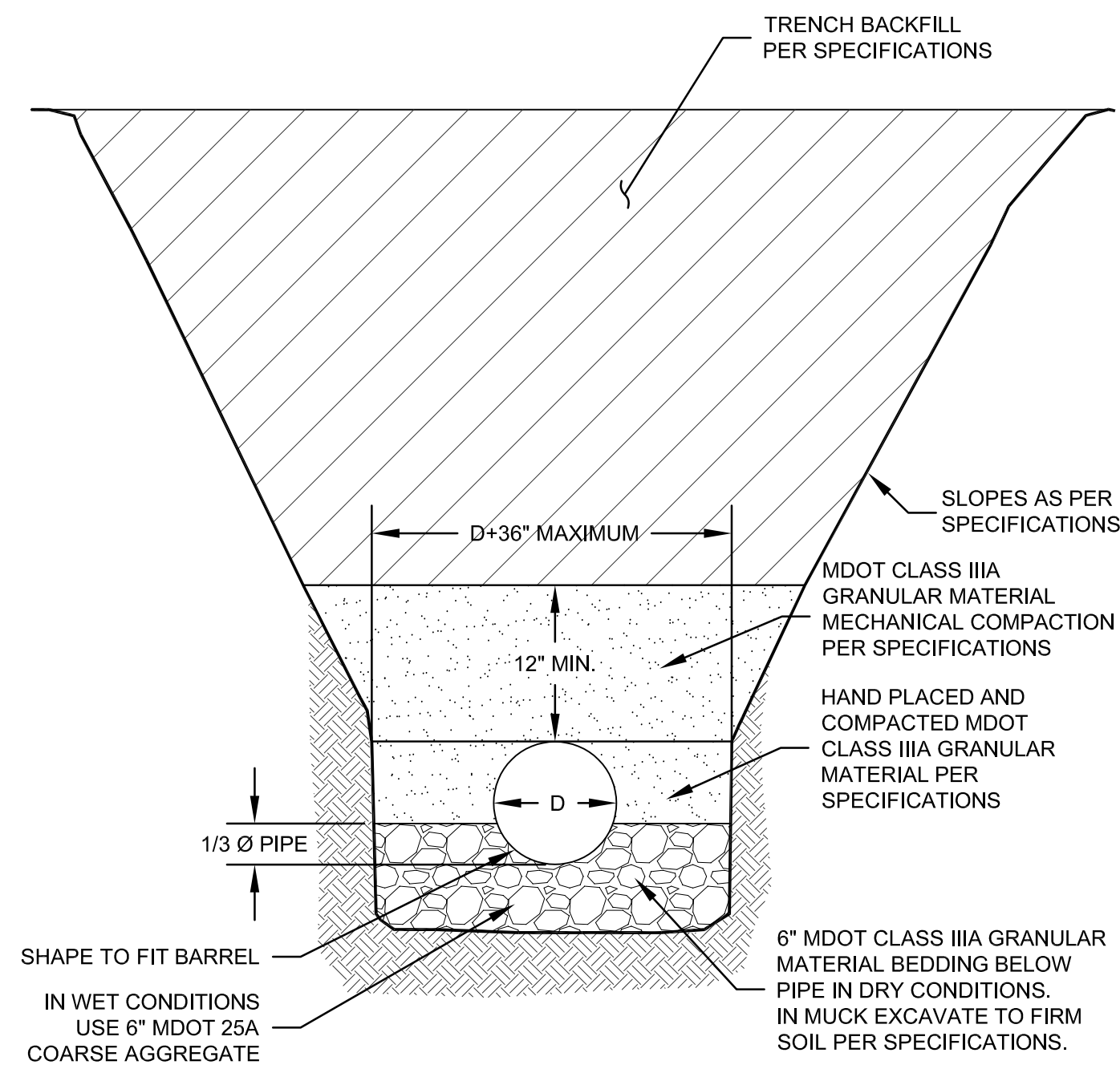
Attention: 1"  
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ISSUE DATE	FOR
3/17/25	REVIEW
4/4/25	REVIEW
4/22/25	CITY REVIEW
3/24/26	CITY REVIEW 2
4/7/26	SITE PLAN REVIEW

Designed By: LBS  
Checked By: BMS  
Drawn By: LBS  
Approved By: BMS

PROJECT # 26012  
SHEET NO. 10

DWG. NO.  
D-01

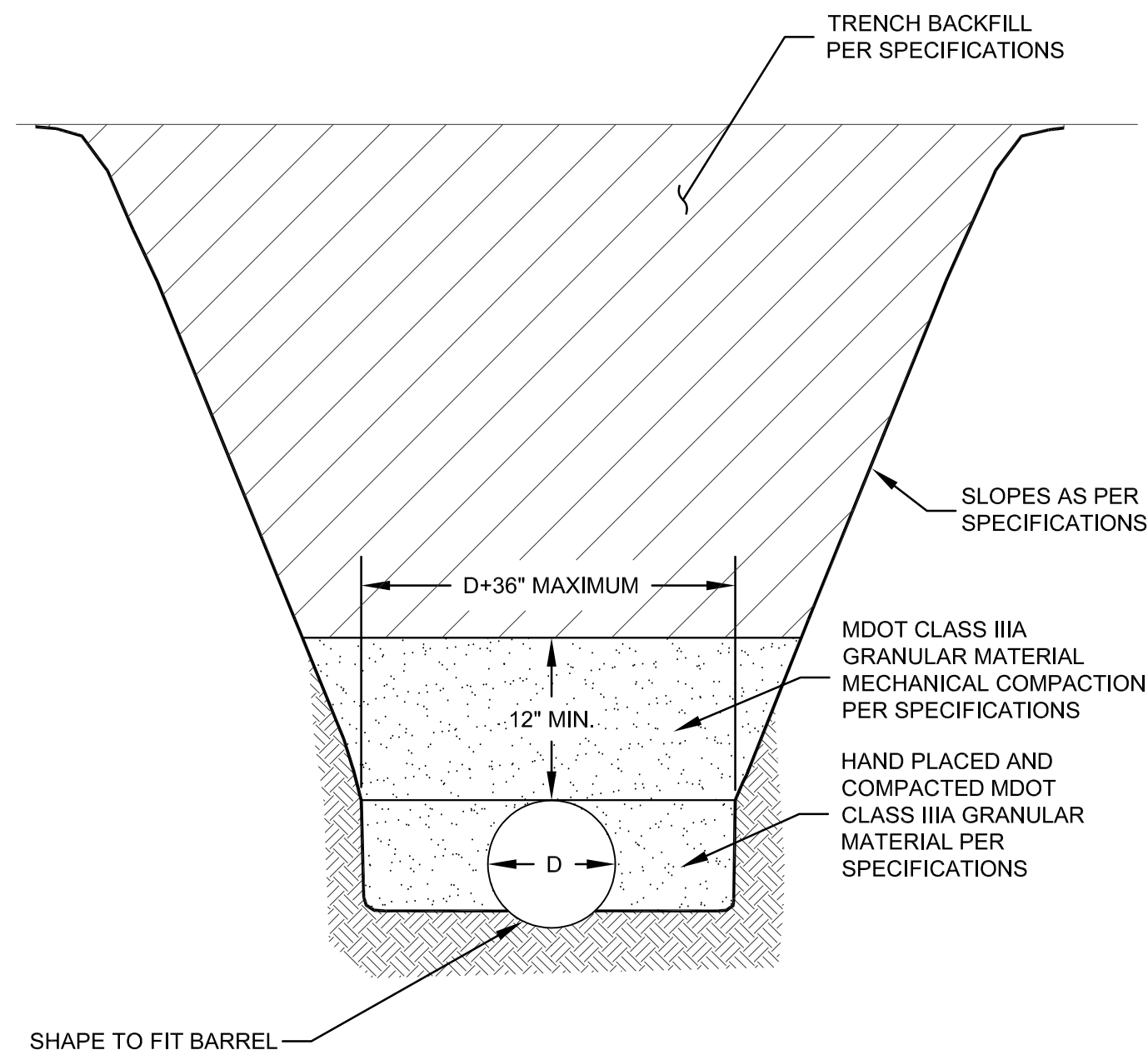


**METHOD 2**

WHERE NATURAL MATERIAL BENEATH PIPE DOES NOT MEET MDOT CLASS IIIA SPECIFICATIONS OR WHERE NATURAL MATERIAL IS UNDERCUT DURING EXCAVATION TO STABILIZE TRENCH BOTTOM

**02-192 PIPE BEDDING DETAIL**  
NO SCALE

- NOTES:**
1. THE BACKFILL MATERIALS AND METHODS SHALL CONFORM TO THE SPECIFICATIONS.
  2. CONTRACTOR SHALL INSTALL NON-WOVEN 8 OZ/SYD GEOTEXTILE FABRIC ABOVE MDOT 25A STONE FOR ENTIRE TRENCH WIDTH AND LENGTH OF STONE BEDDING WHEREVER UTILIZED. GEOTEXTILE FABRIC JOINTS SHALL OVERLAP A MINIMUM OF 2.0 FEET.

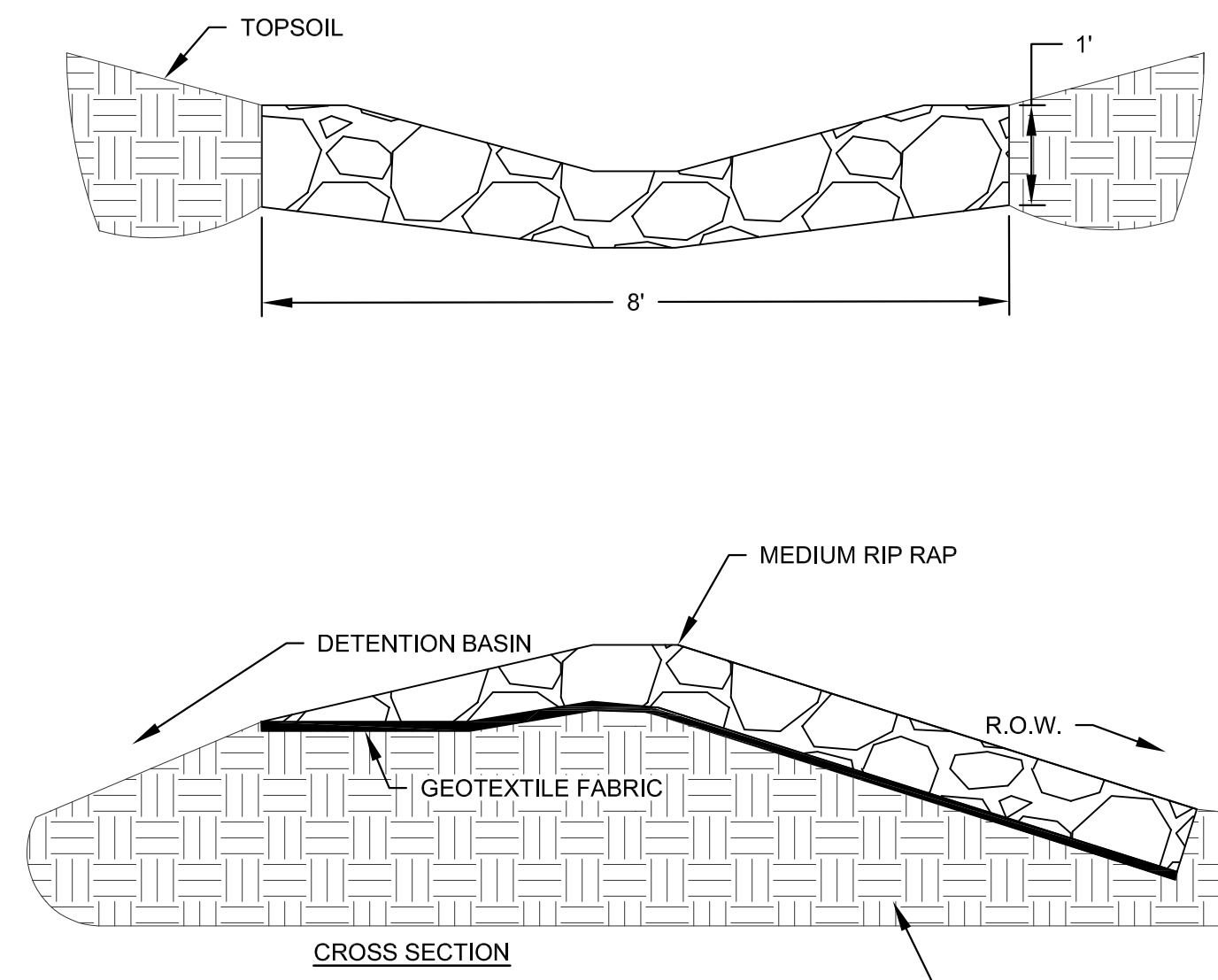


**METHOD 1**

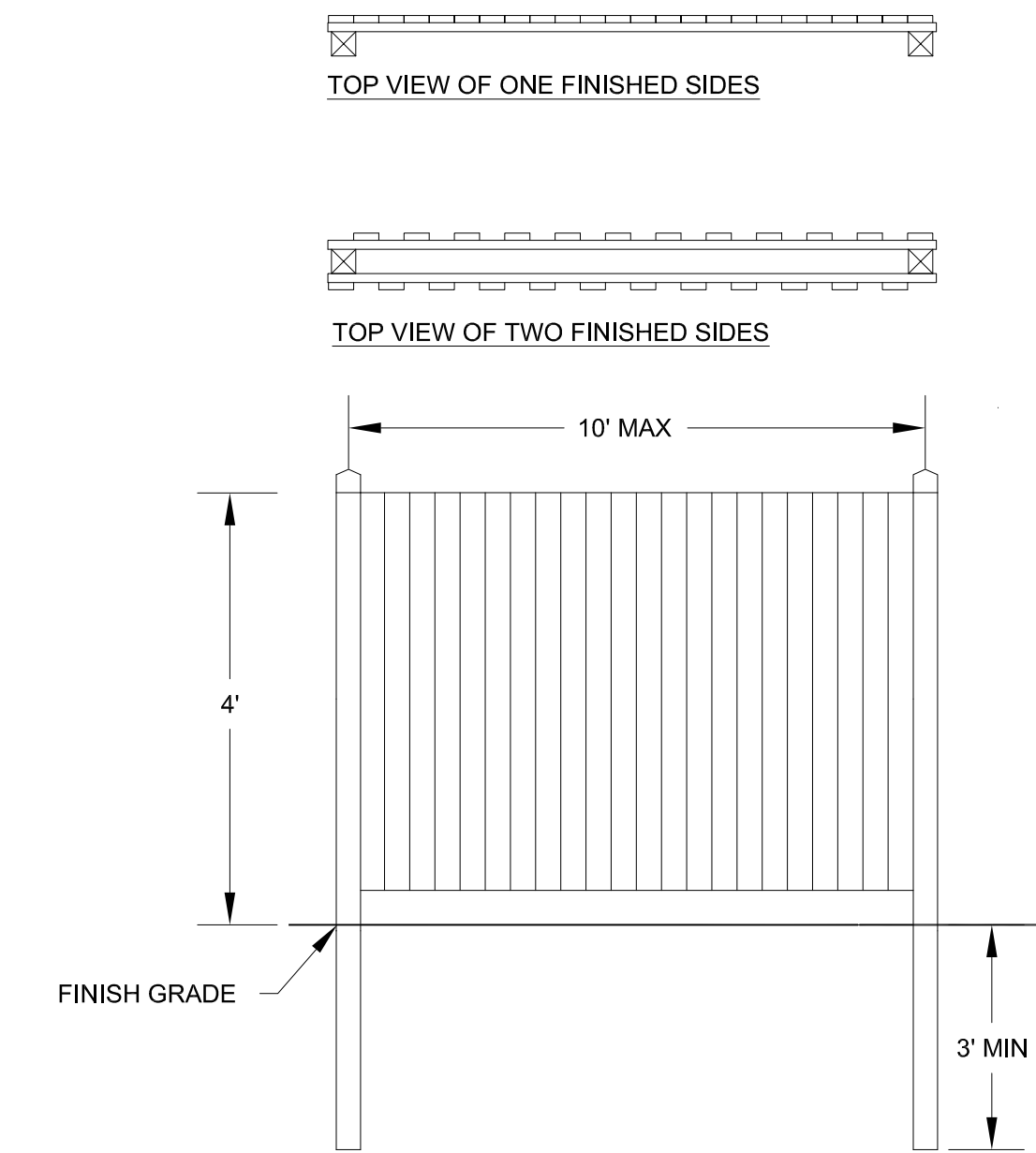
WHERE NATURAL MATERIAL BENEATH PIPE MEETS MDOT CLASS IIIA SPECIFICATIONS.

**02-190 PIPE BEDDING DETAIL**  
NO SCALE

- NOTES:**
1. THE BACKFILL MATERIALS AND METHODS SHALL CONFORM TO THE SPECIFICATIONS.

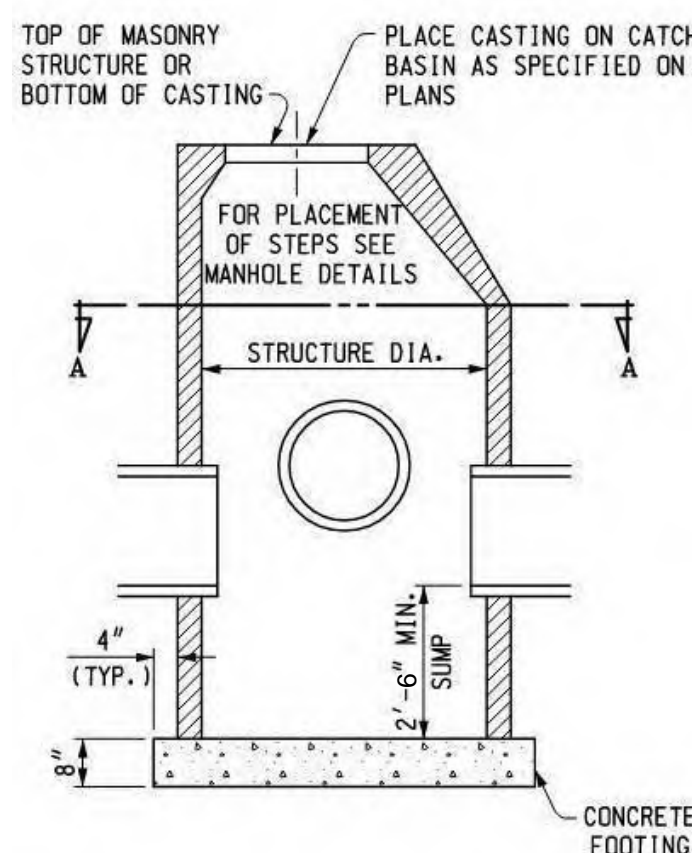
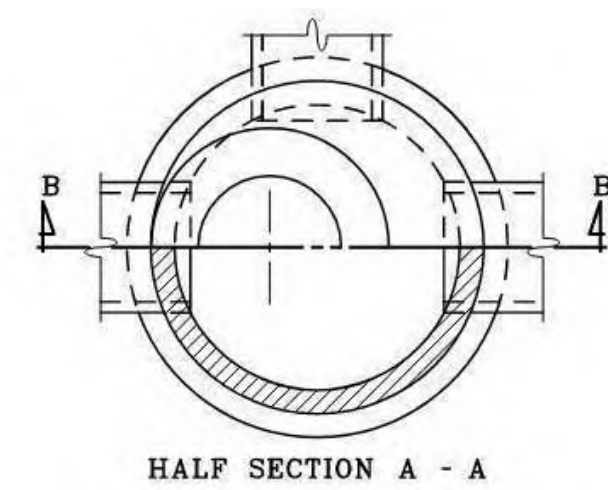


**02-193 RIP RAP EMERGENCY SPILLWAY**  
NO SCALE



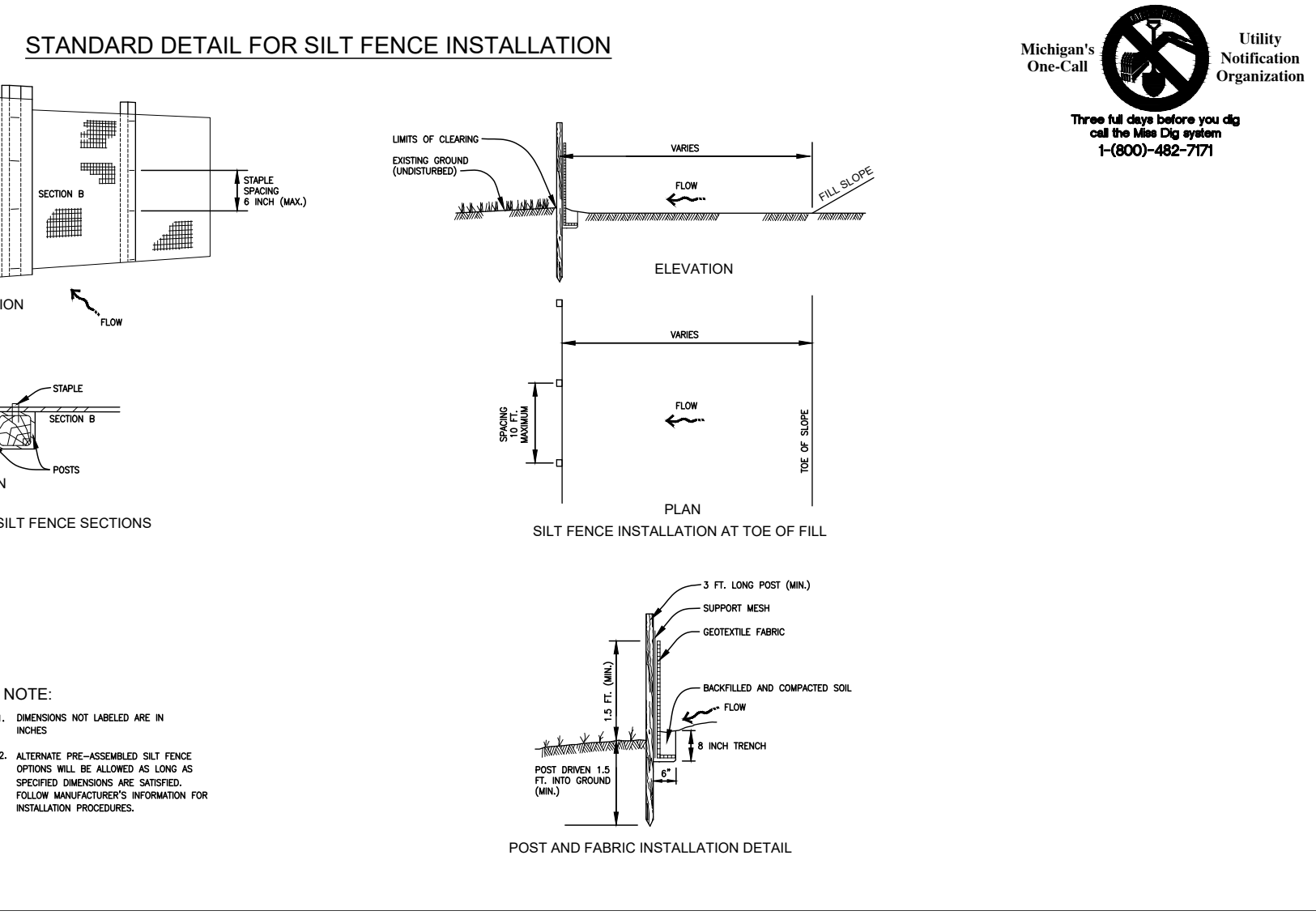
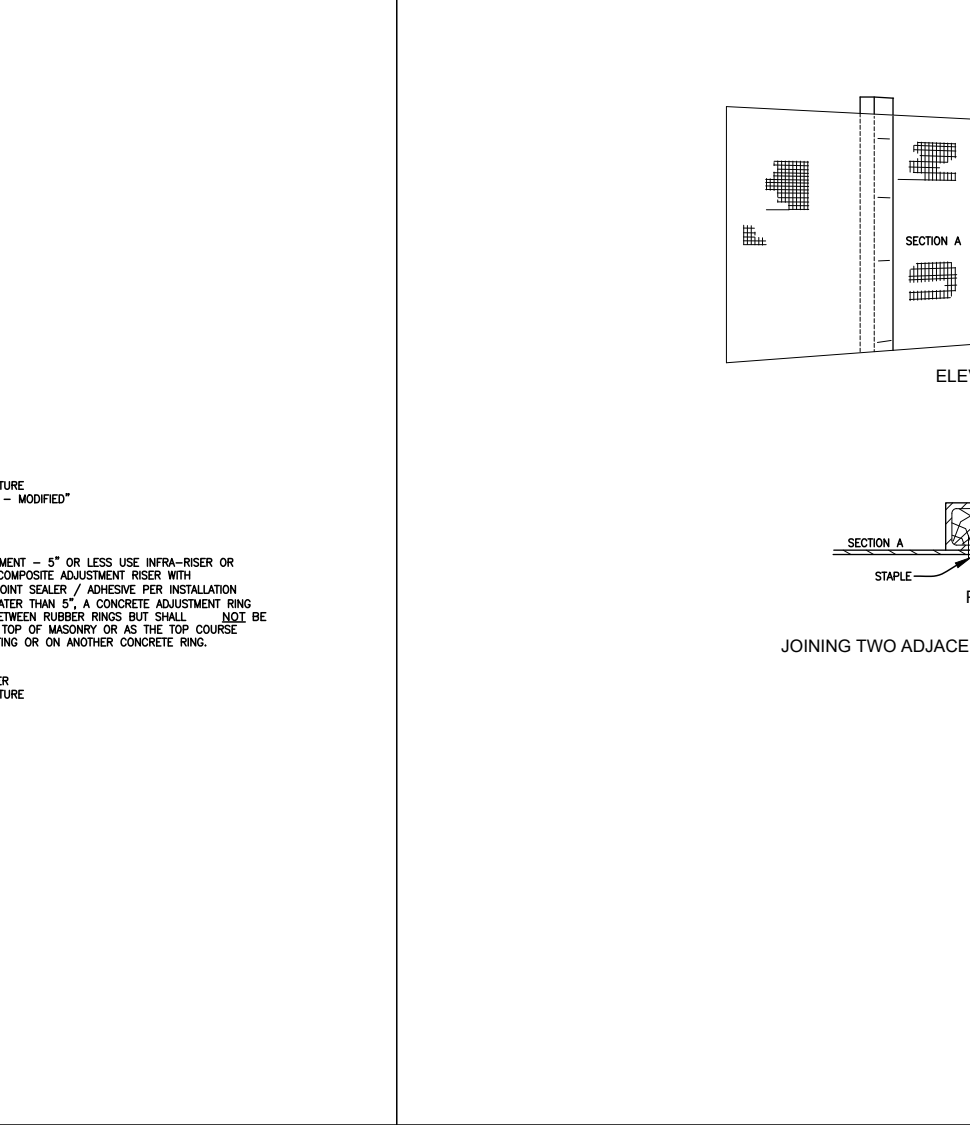
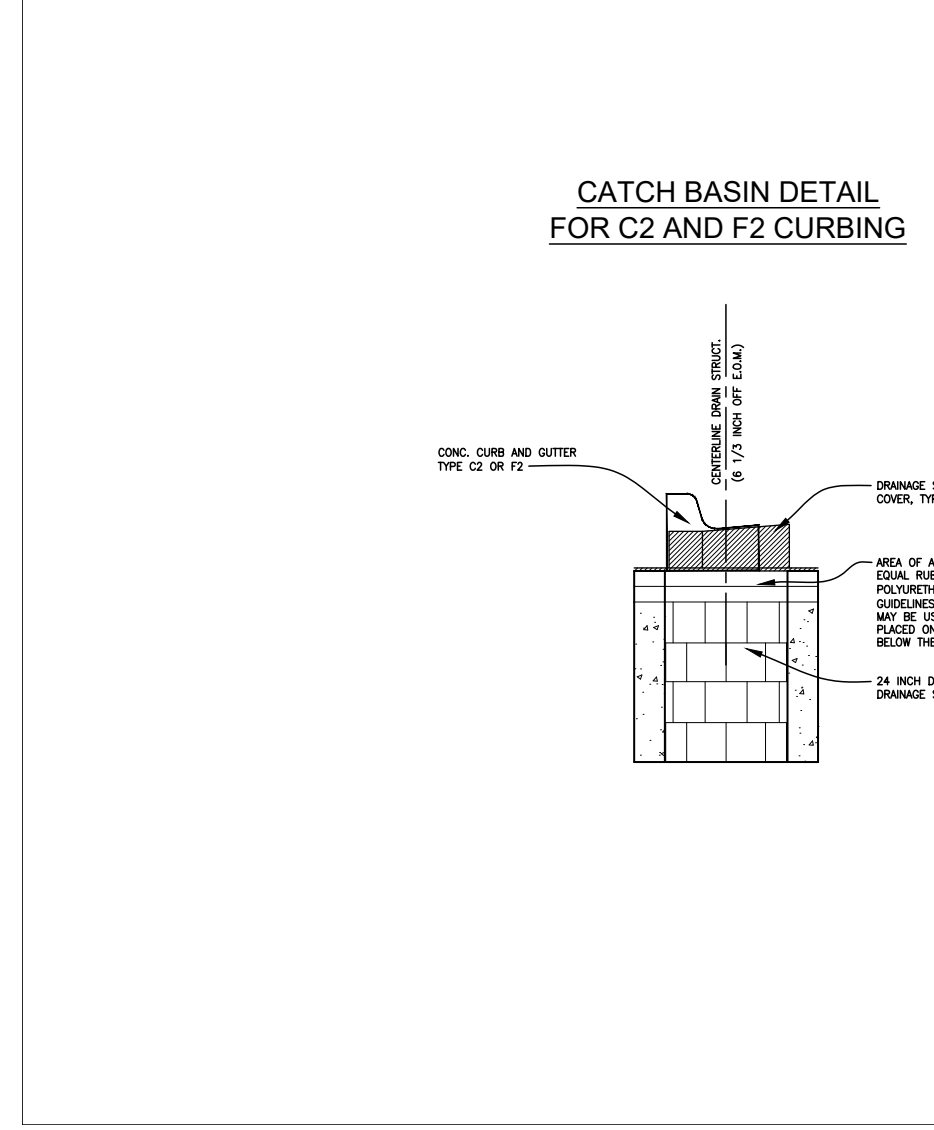
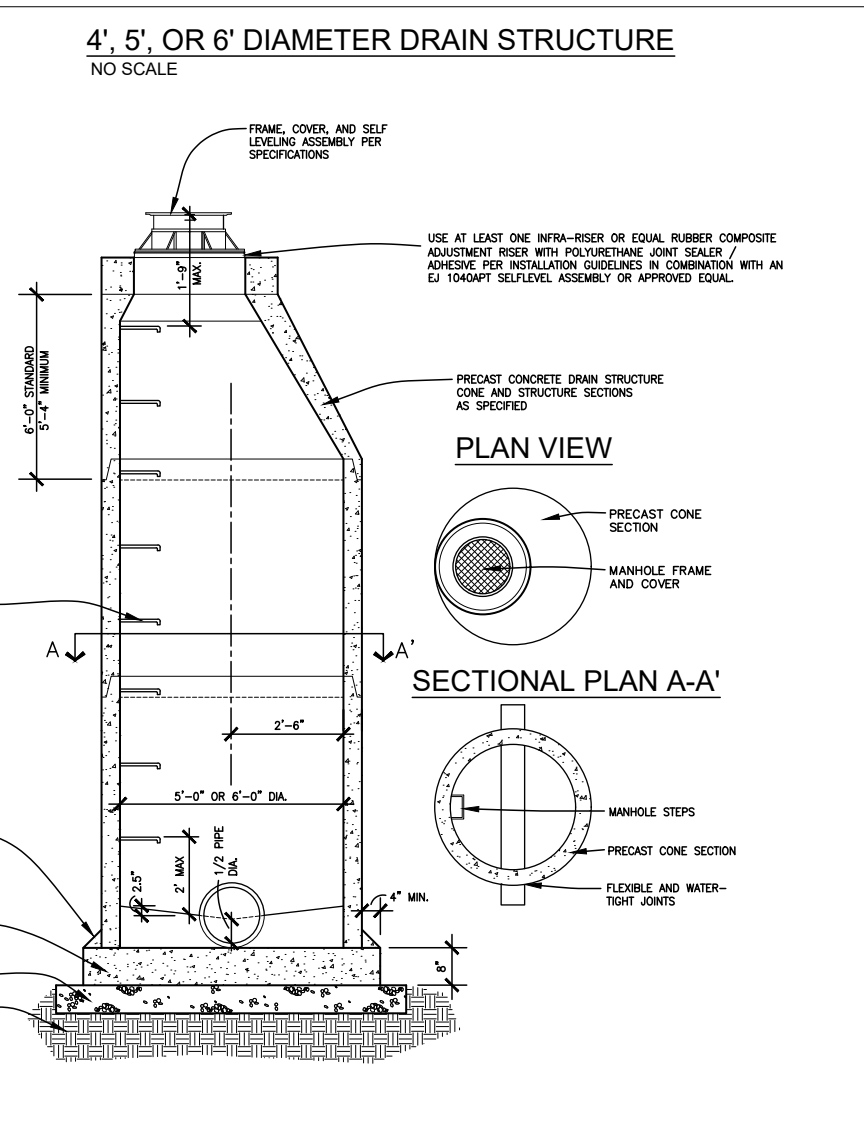
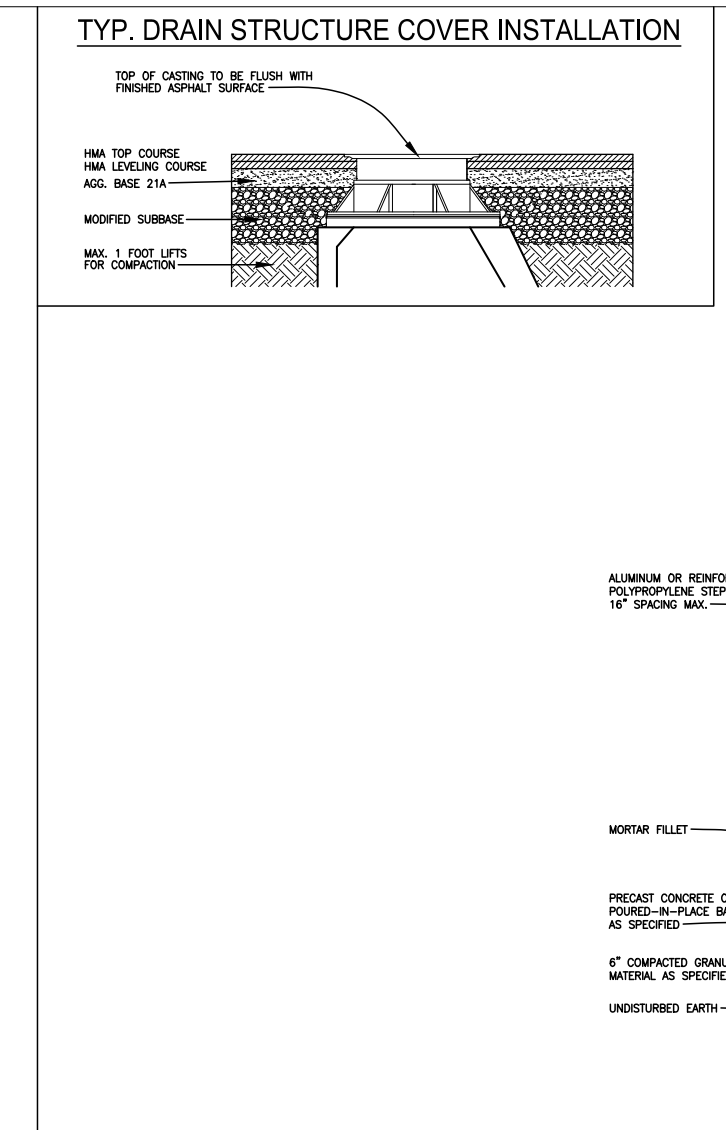
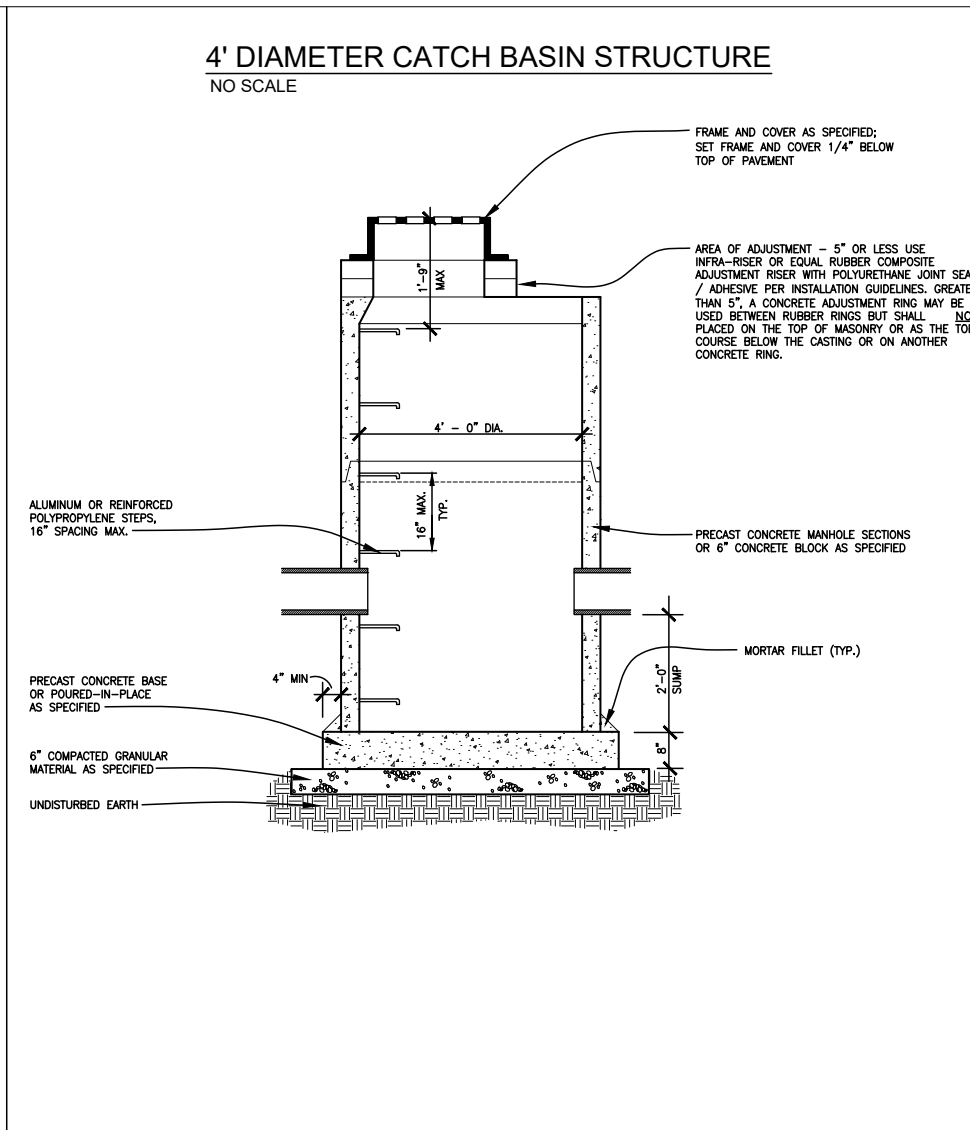
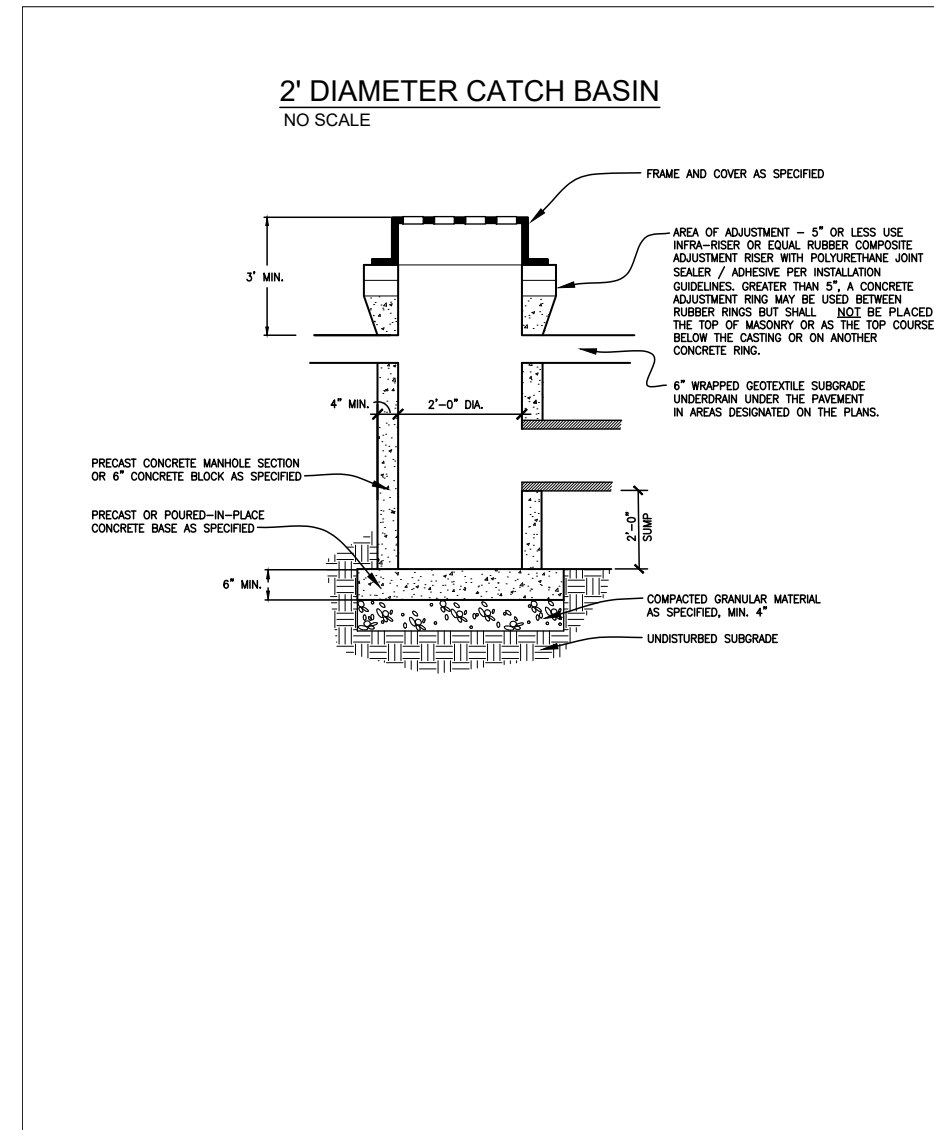
- 1) LOCATION: ALL FENCES MUST BE LOCATED ON THE PRIVATE PROPERTY OF THE OWNER CONSTRUCTING THE FENCE, AND SHALL NOT EXTEND TOWARD THE STREET BEYOND THE FRONT LOT LINE.
- 2) ORIENTATION OF FINISHED SIDE SHALL BE OUTWARD TOWARDS THE ADJACENT PARCEL OR PROPERTY LINE.

**04-020 PRIVACY FENCE DETAIL**  
NO SCALE

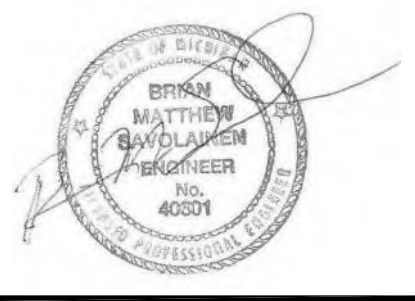


**CATCH BASIN DETAIL**

- NOTES:**
1. STRUCTURE COVER SHALL BE ROUND STORM CAST IRON.



- NOTE:**
1. DIMENSIONS NOT LABELED ARE IN FEET.
  2. ALTERNATE PRE-ASSEMBLED SILT FENCE SYSTEMS WILL BE ALLOWED AS LONG AS PROVED DIMENSIONS ARE SHOWN. FOLLOW MANUFACTURER'S INFORMATION FOR INSTALLATION PROCEDURES.



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**DETAILS**

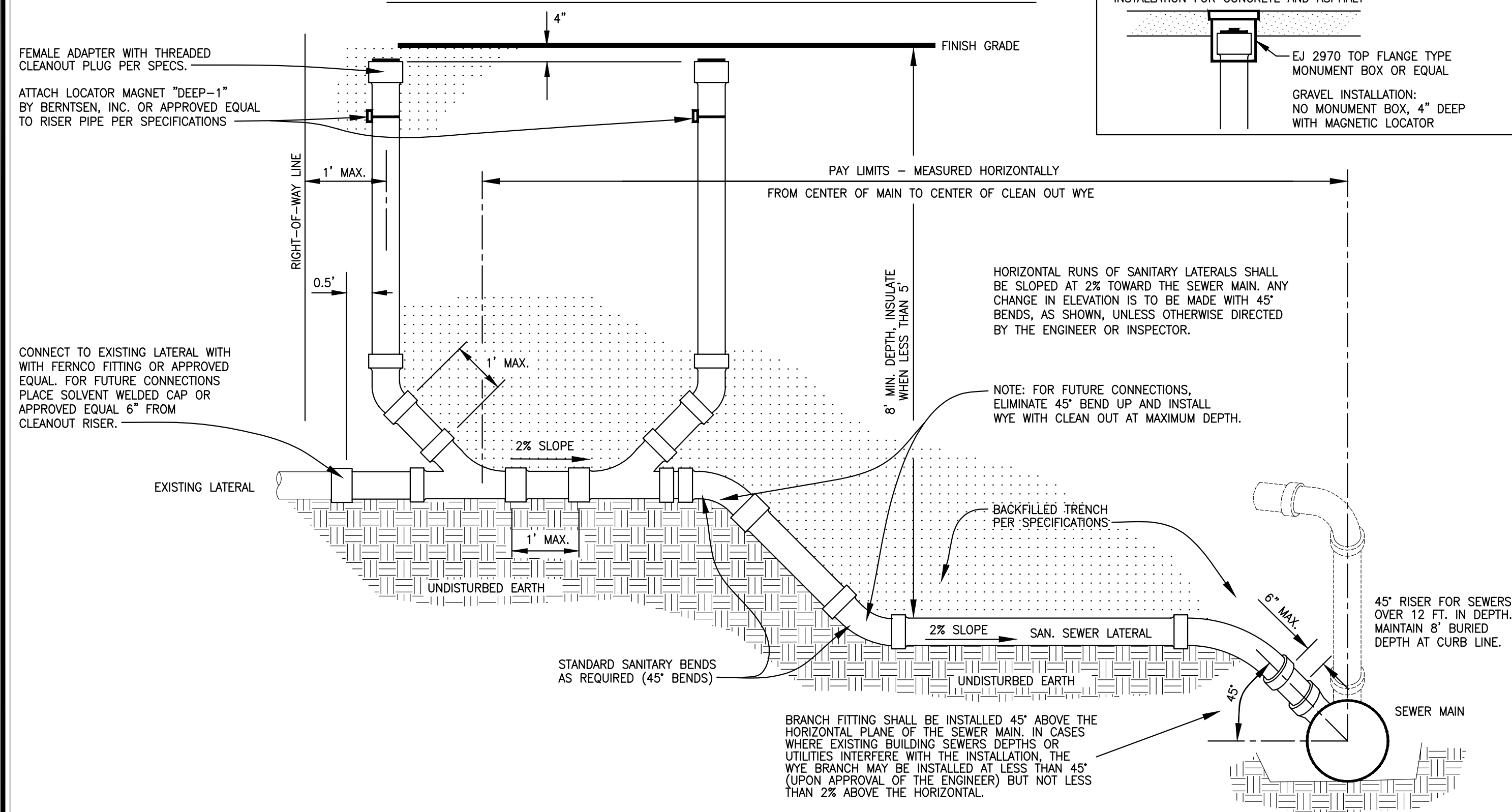
Attention: 1"  
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ISSUE DATE	FOR
3/17/25	REVIEW
4/4/25	REVIEW
4/22/25	CITY REVIEW
3/24/26	CITY REVIEW 2
4/7/26	SITE PLAN REVIEW

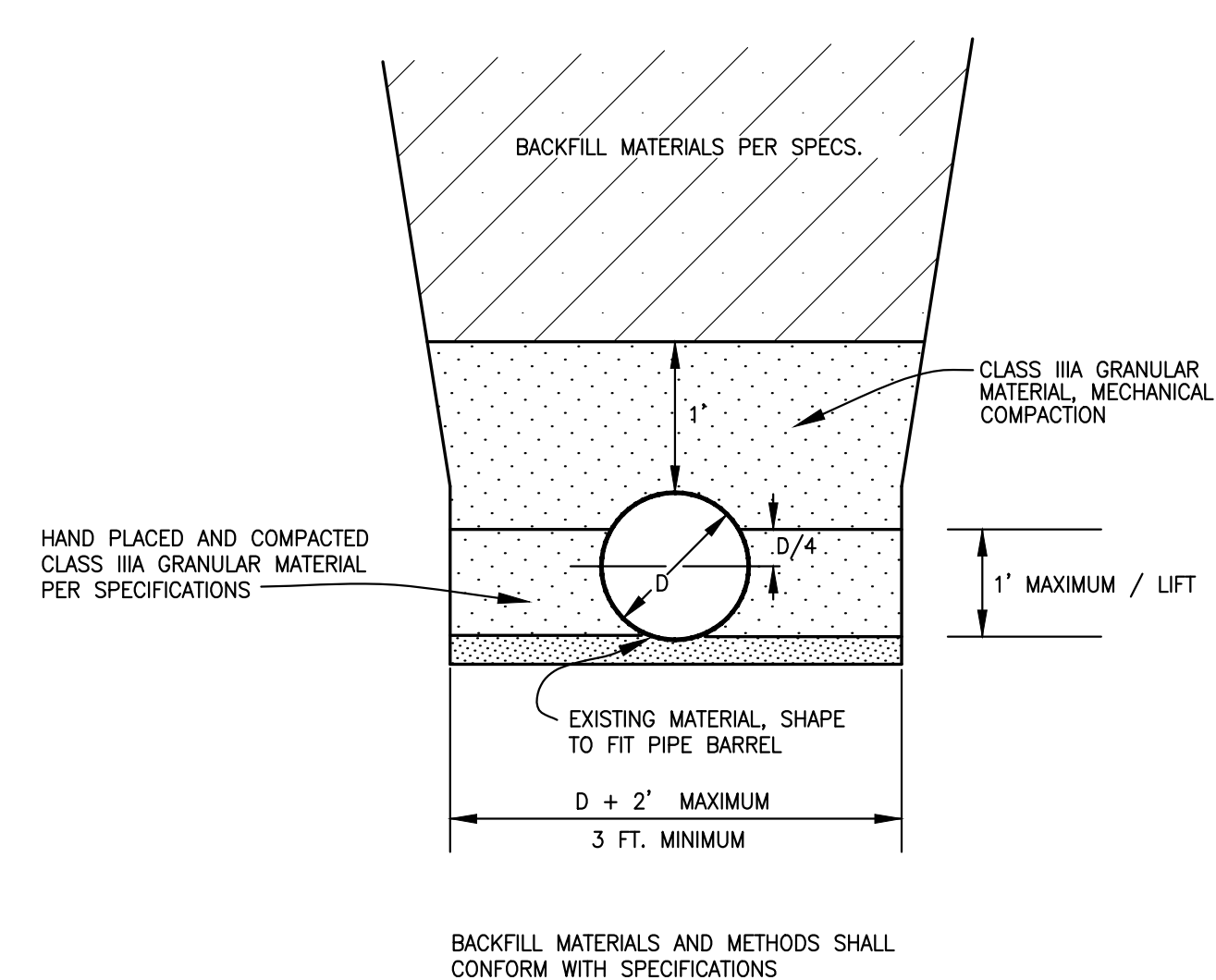
Designed By: LBS  
Checked By: BMS  
Drawn By: LBS  
Approved By: BMS  
PROJECT # 26012  
SHEET NO. 11

DWG. NO.  
D-02

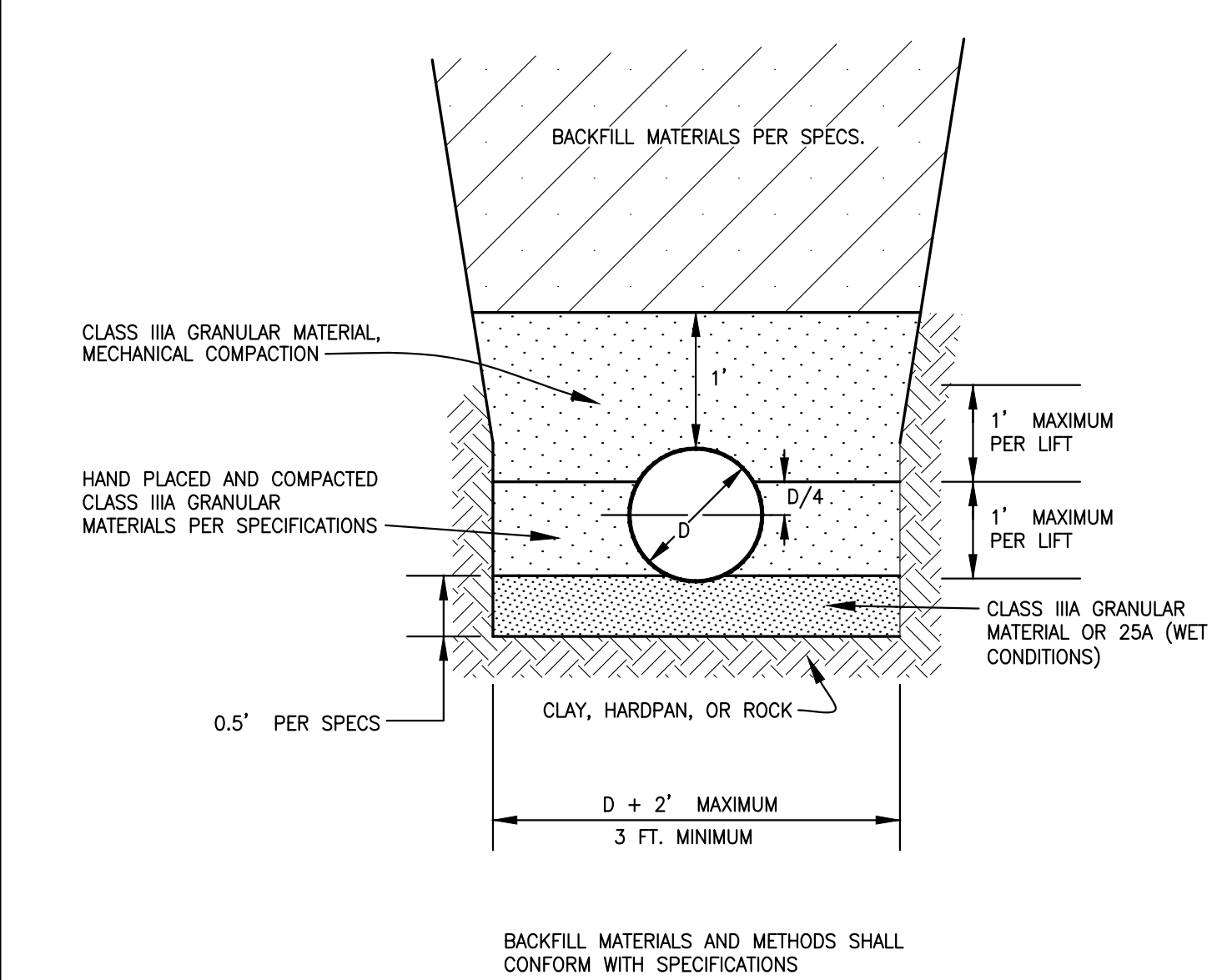
### SANITARY SEWER LATERAL RISER DETAIL



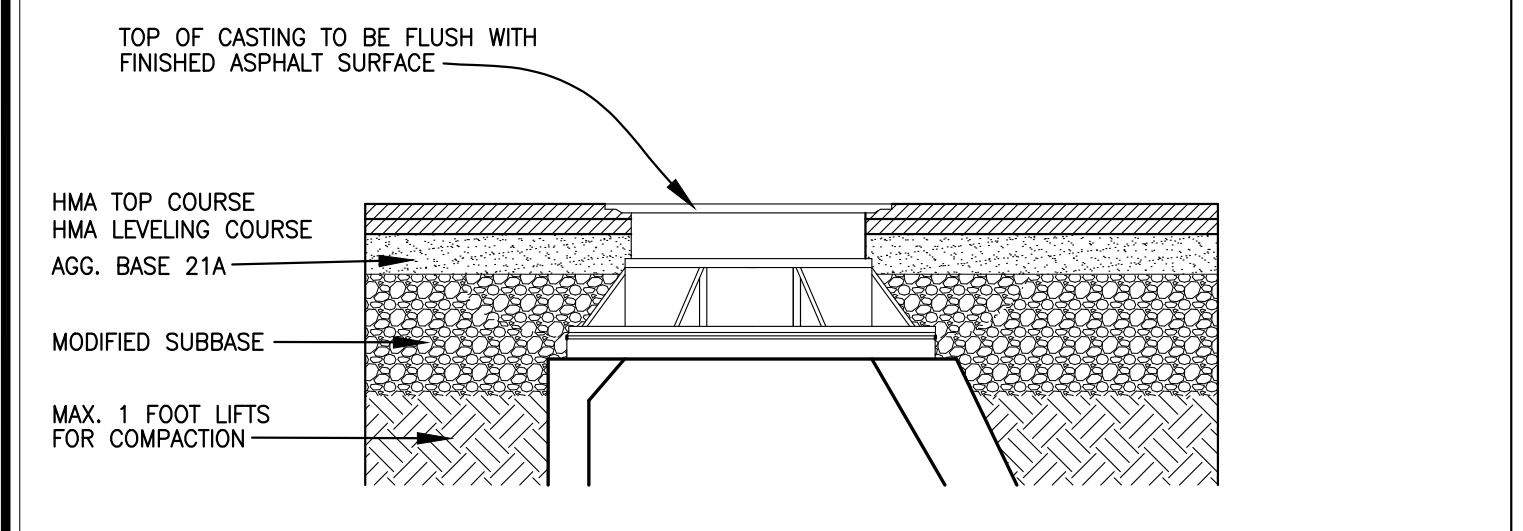
### PIPE BEDDING DETAIL "G" IN SAND AND GRAVEL



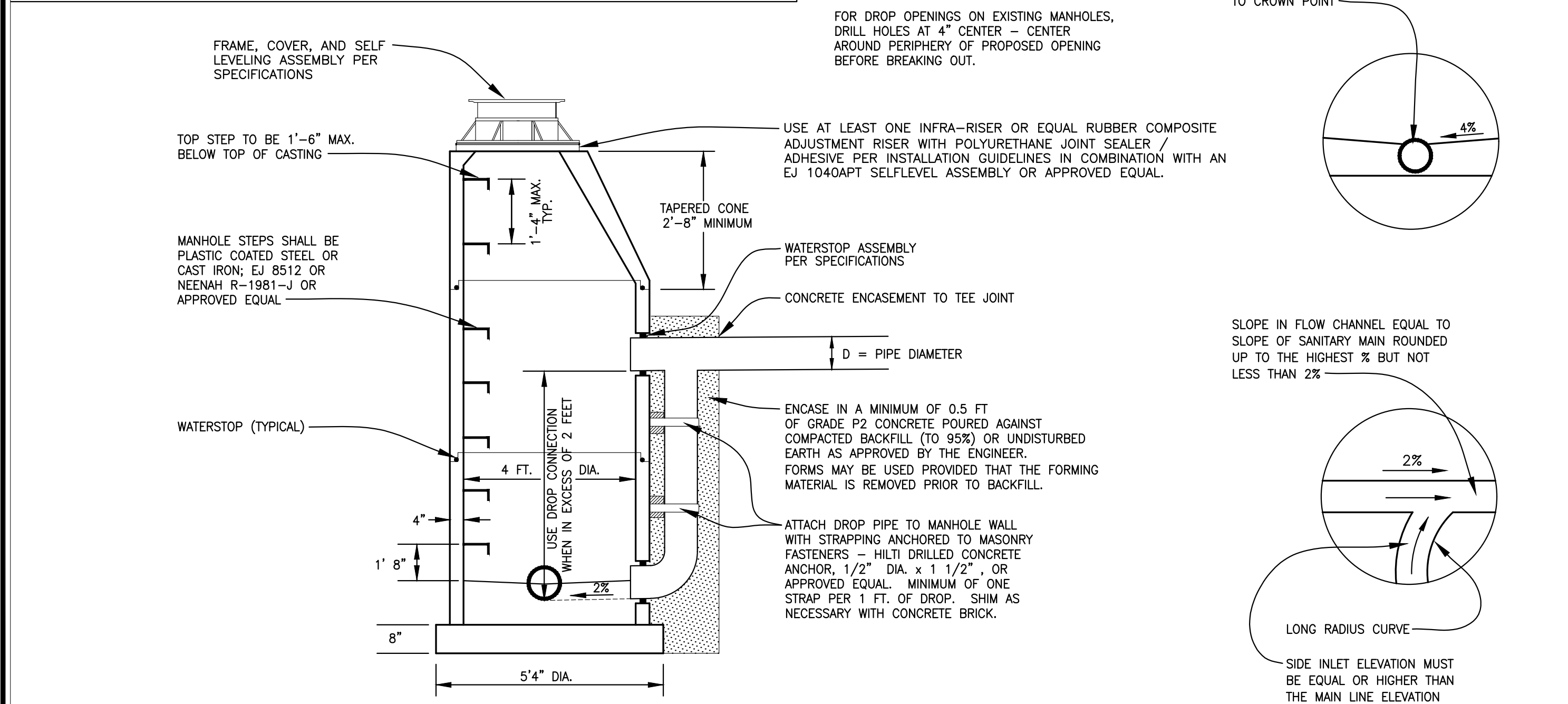
### PIPE BEDDING DETAIL "G" IN CLAY, HARDPAN, AND ROCK OR WHERE NATURAL MATERIAL IS UNDERCUT DURING EXCAVATION



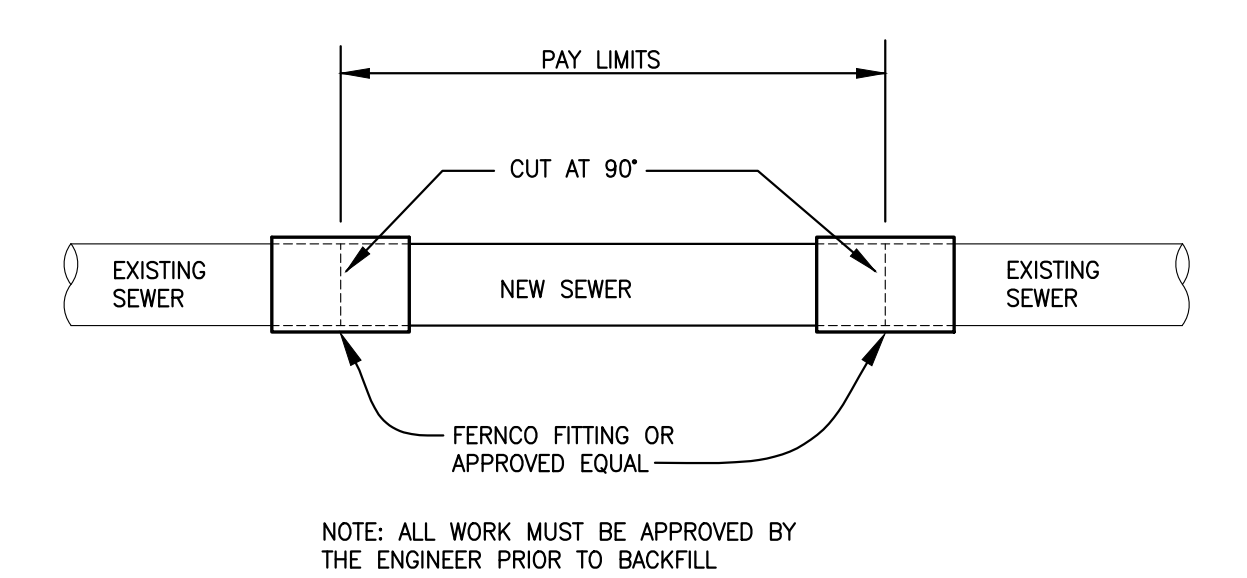
### TYPICAL MANHOLE COVER INSTALLATION



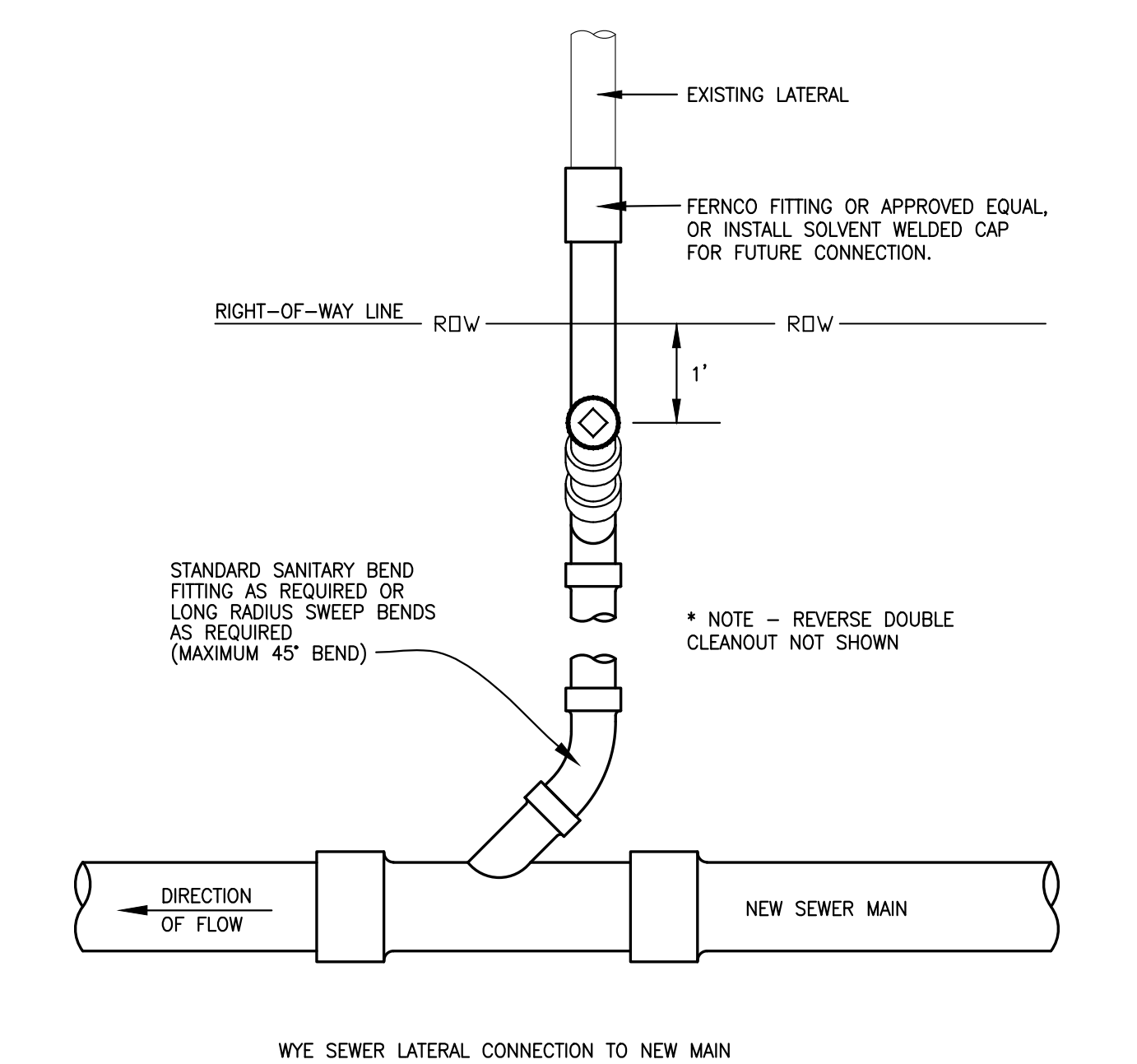
### STANDARD CONCRETE DROP MANHOLE REFER TO M.D.O.T. STANDARD PLANS FOR OTHER CONFIGURATIONS



### SANITARY SEWER LATERAL REPAIR DETAIL AND SANITARY SEWER POINT REPAIR



### PLAN VIEW OF SANITARY SEWER LATERAL



**Michigan's One-Call Utility Notification Organization**

**Three full days before you dig call the 811 Dig system 1-(800)-482-7171**



**WICKWIRE**

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 tel 906-265-9865  
 wickwiresolutions.com

**GRIES ARCHITECTURAL GROUP - MARQUETTE GMC DEALERSHIP**

**DETAILS**

**Attention: 1"**

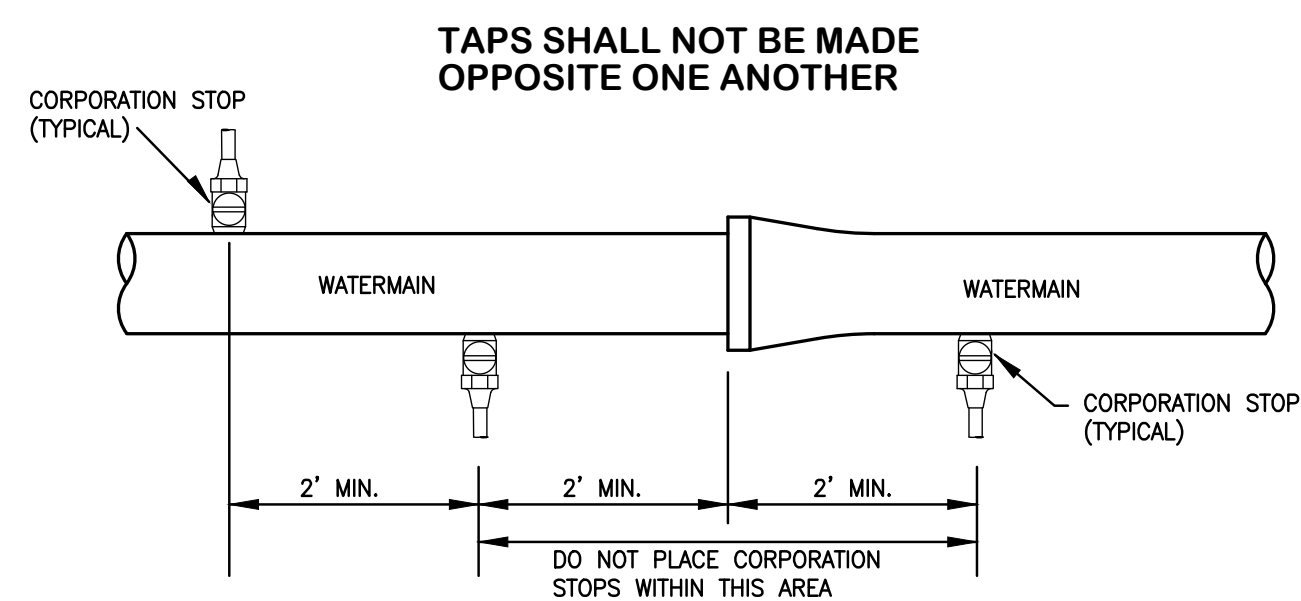
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Designed By: LBS  
 Checked By: BMS  
 Drawn By: LBS  
 Approved By: BMS

PROJECT # 26012  
 SHEET NO. 12  
 DWG. NO. D-03

### TAP SPACING ON WATERMAIN

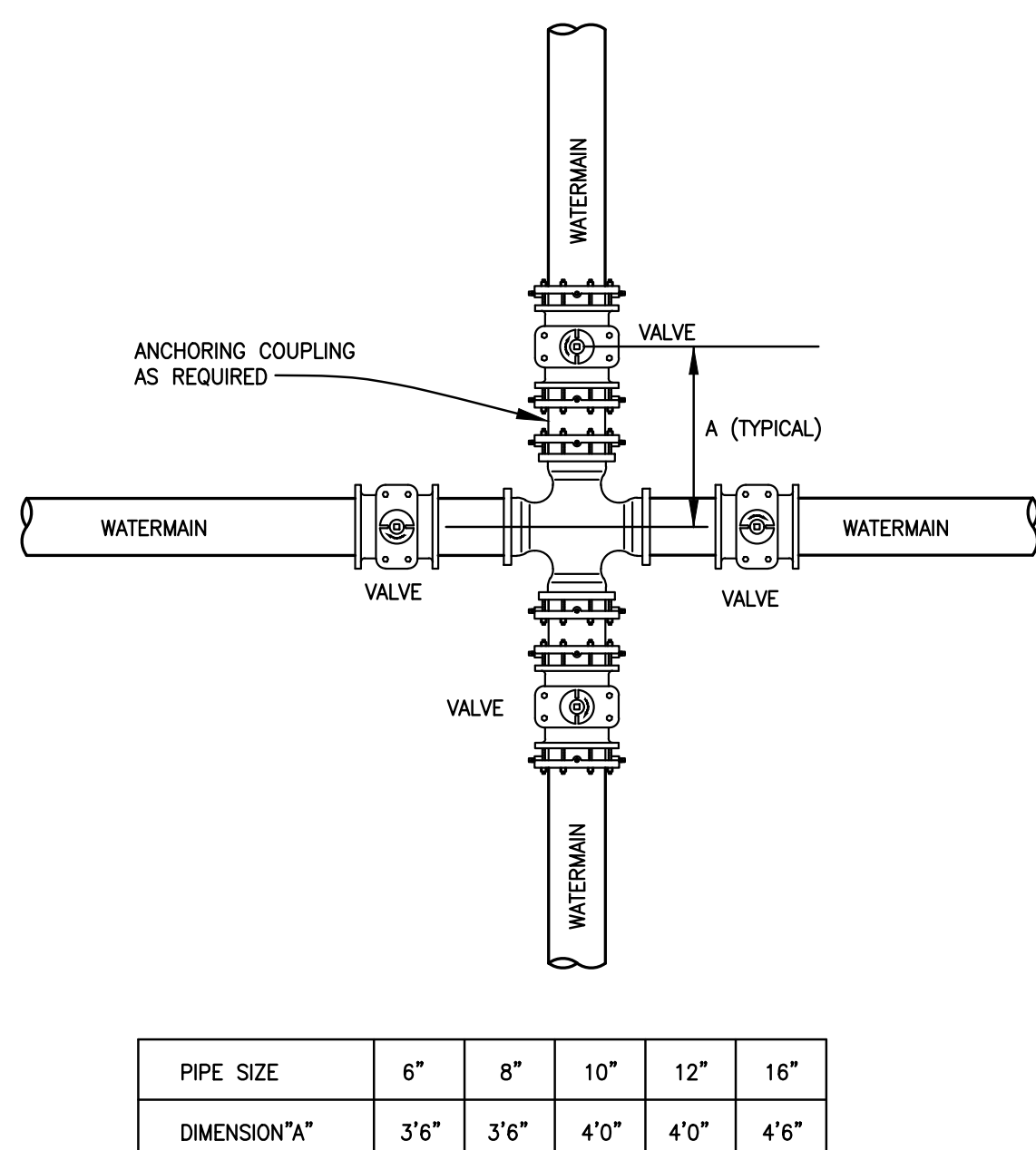


### PIPE RESTRAINT SCHEDULE

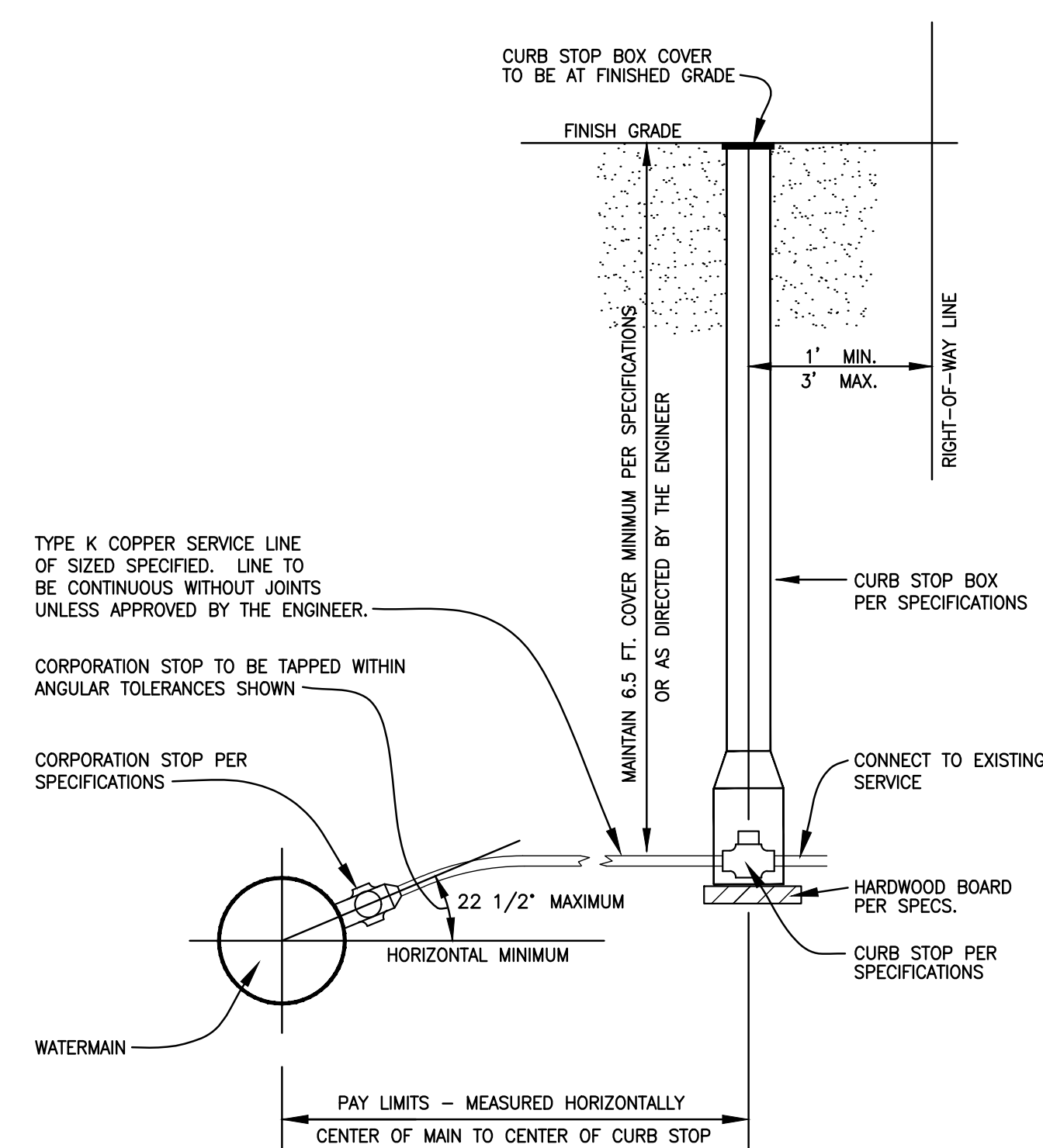
PIPE SIZE IN INCHES	RESTRAINED PIPE LENGTH IN FEET (1)									
	HORIZONTAL BENDS				DEAD ENDS (2)	45° VERTICAL BENDS		REDUCER ONE SIZE REDUCTION	REDUCER TWO SIZE REDUCTION	
	TEE, 90°	45°	22-1/2°	11-1/4°		UPPER	LOWER			
4	23	9	5	2	55	23	8	-	-	-
6	32	13	6	3	77	32	11	21	-	-
8	40	17	8	4	100	41	14	21	49	-
12	56	23	11	6	141	58	20	40	81	-
16	71	29	14	7	181	75	25	41	96	-
20	84	35	17	8	218	90	30	42	94	-
24	96	40	19	10	253	105	35	42	106	-
30	112	47	22	11	303	125	41	59	117	-

- RESTRAIN ALL PIPE JOINTS WITHIN THE DISTANCE SHOWN ON THE TABLES MEASURED FROM THE POINT OF CONNECTION.
- ISOLATION VALVES SHALL BE TREATED AS DEAD ENDS WITH RESTRAINT ON BOTH SIDES OF THE VALVE.

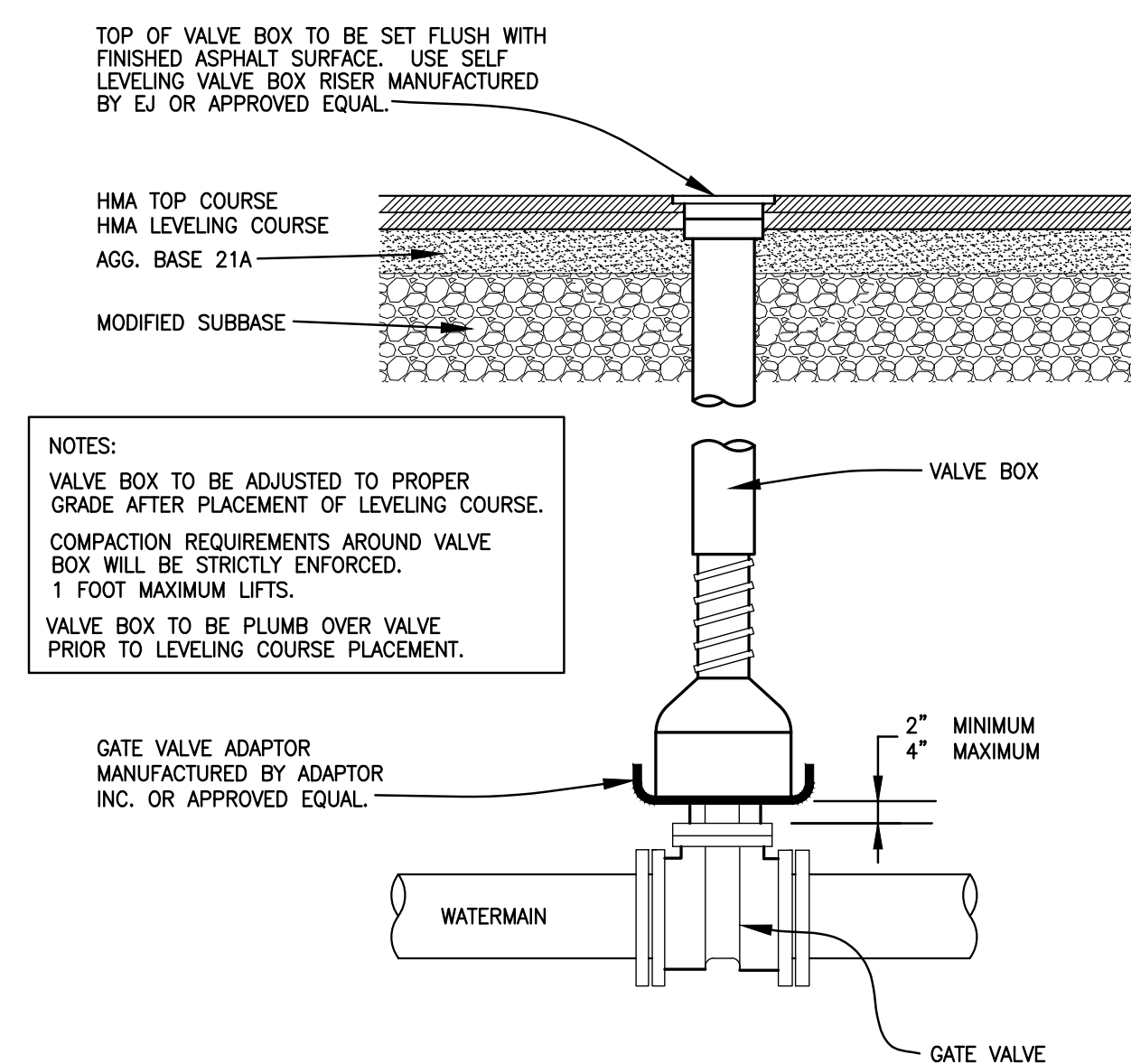
### STANDARD VALVE LOCATION



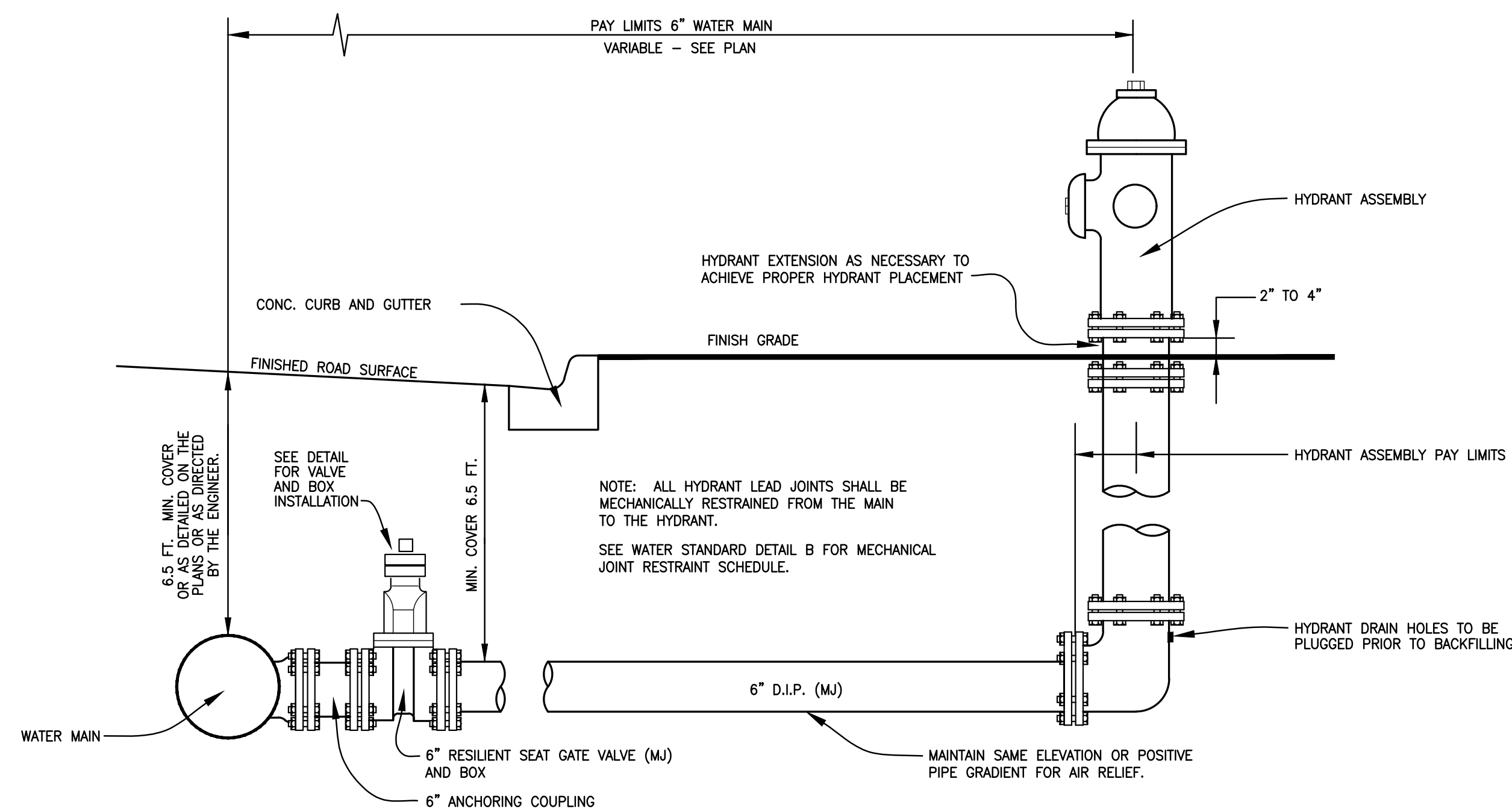
### TYPICAL SERVICE CONNECTION



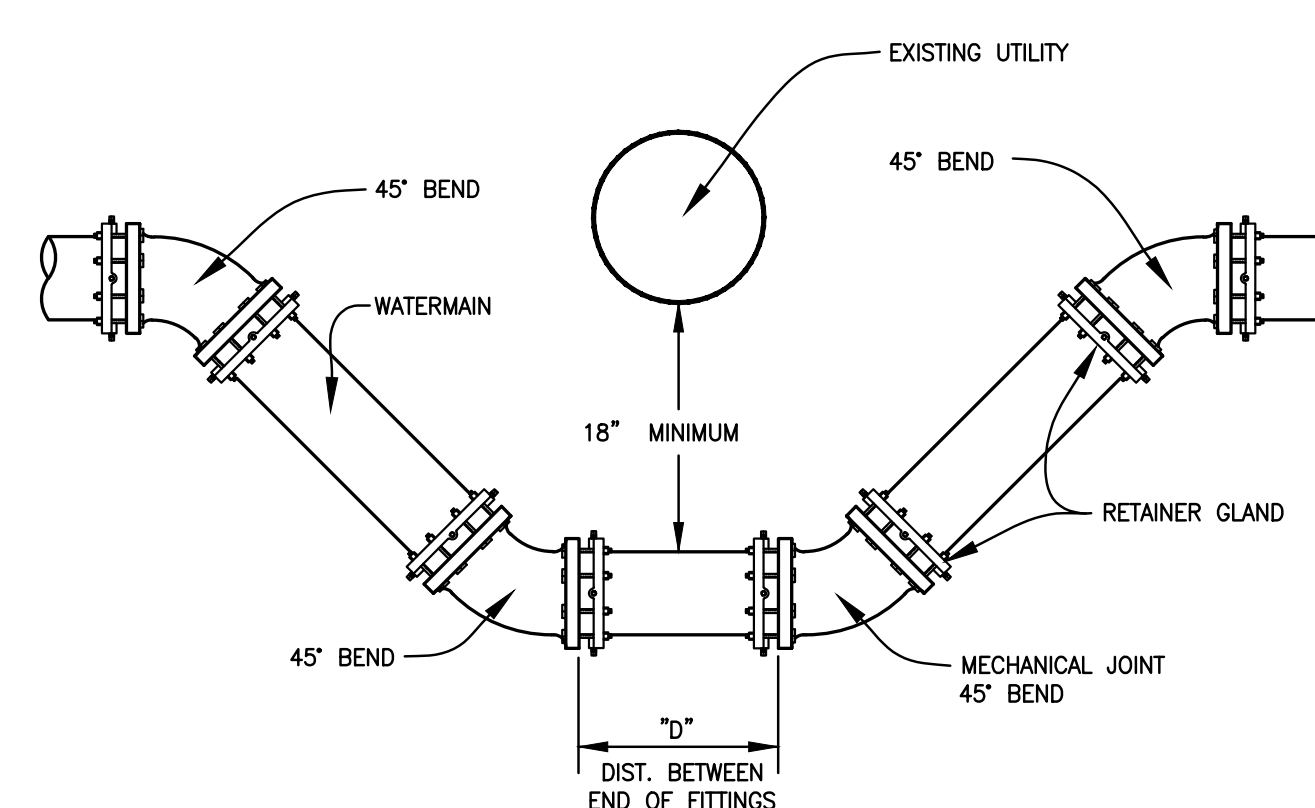
### TYPICAL VALVE BOX INSTALLATION



### TYPICAL HYDRANT CONNECTION



### WATER MAIN CROSSING DETAIL

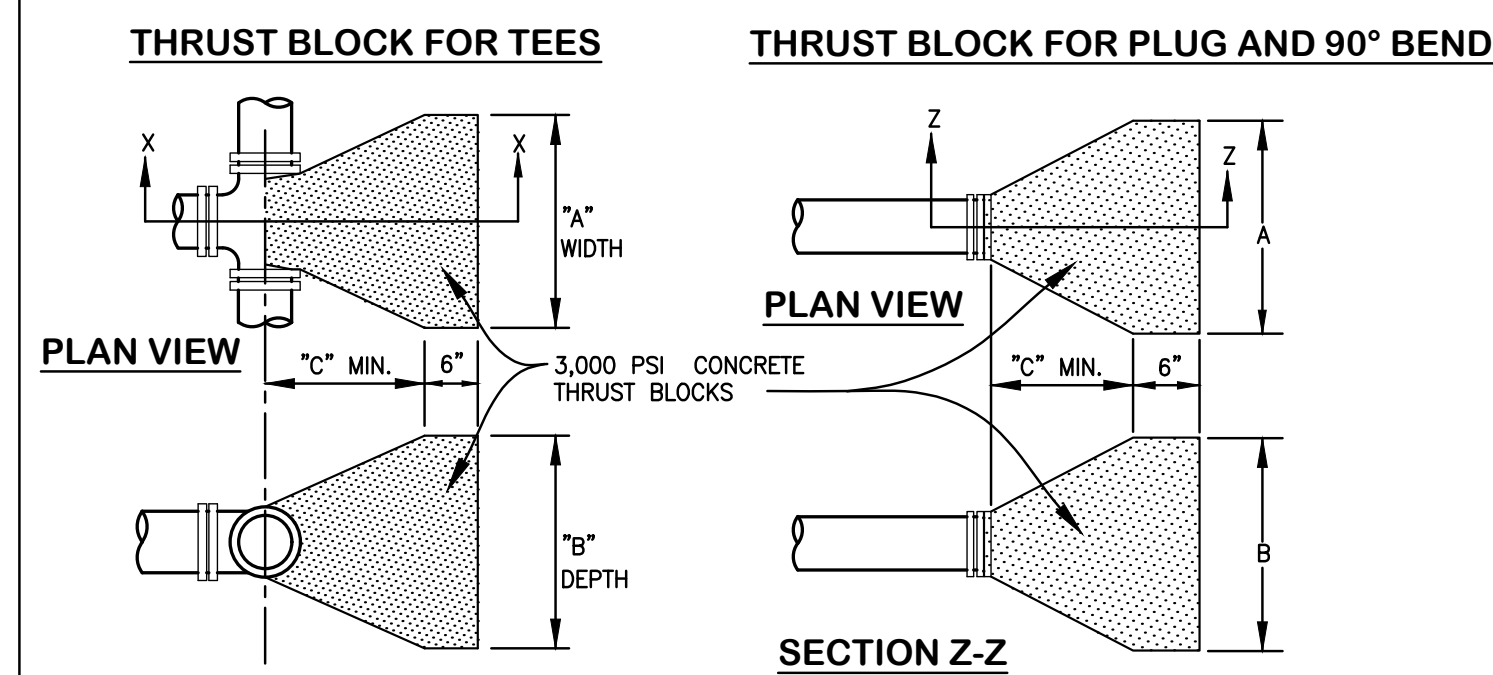


ALL JOINTS TO BE MADE UP USING MECHANICAL JOINT FITTING WITH RETAINER GLANDS. THE ENGINEER MAY ALLOW OTHER TYPES OF JOINT RESTRAINTS IF CIRCUMSTANCES WARRANT.

SEE WATER VALVE STANDARD LOCATION DETAIL (ABOVE) FOR MECHANICAL JOINT RESTRAINT SCHEDULE.

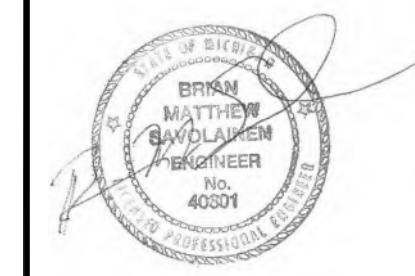
WATERMAIN DIA.	MINIMUM DIMENSION (INCH)	I.D. EXISTING UTILITY			
		≤12"	≤24"	≤36"	≤48"
6"	D	13"	17"	22"	28"
8"	D	14"	14"	19"	25"
10"	D	14"	14"	16"	22"
12"	D	15"	15"	15"	19"
16"	D	15"	15"	15"	19"

### THRUST BLOCK DETAIL



W.M. SIZE	MIN. THRUST BLOCK DIM.			BEARING SQ. FT.
	A (MIN)	B (MIN)	C (MIN)	
6"	1'6"	1'6"	12"	2.2
8"	2'3"	2'3"	1'3"	5.1
10"	2'6"	2'6"	1'6"	6.3
12"	3'0"	3'0"	1'9"	9.0
16"	4'0"	4'0"	2'10"	16.0

- THE SHAPE OF THE BACK OF THE BLOCK MAY VARY AS LONG AS THE BEARING AREA IS NO LESS THAN THE AREA SHOWN IN THE TABLES AND THE POUR IS AGAINST FIRM UNDISTURBED EARTH.
- JOINTS SHALL BE KEPT FREE OF CONCRETE AND A NON-ABRASIVE BARRIER APPROVED BY THE ENGINEER SHALL BE PLACED BETWEEN THE THRUST BLOCK AND ALL MECHANICAL JOINTS.
- DIMENSIONS ARE BASED ON A SURGE PRESSURE OF 150 PSI AND SAFE BEARING LOADS OF 2 TONS PER SQ. FT. IN CLEAN DRY SAND



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Designed By: LBS  
Checked By: BMS  
Drawn By: LBS  
Approved By: BMS

PROJECT # 26012  
SHEET NO. 13

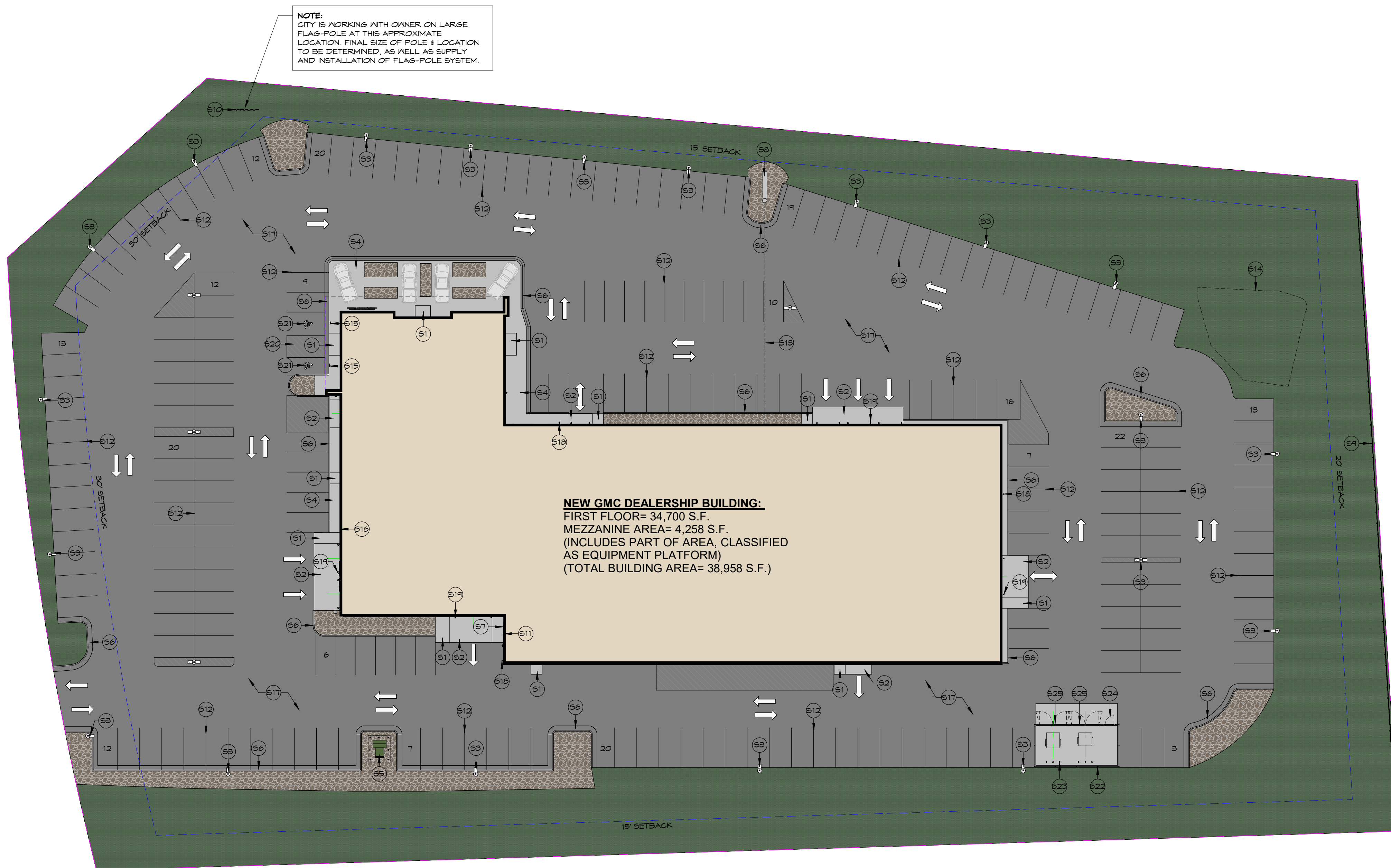
DWG. NO.  
D-04

**GENERAL SITE PLAN NOTES:**

- GENERAL CONTRACTOR TO PROVIDE CONCRETE MECHANICAL EQUIPMENT PADS. COORDINATE SIZE & REINF. REQUIREMENTS WITH MECHANICAL & ELECTRICAL CONTRACTOR.
- GENERAL CONTRACTOR TO PROVIDE SILT FENCE / EROSION CONTROL MEASURES PER CIVIL DRAWINGS AND LOCAL MUNICIPALITY REQUIREMENTS. EROSION CONTROL MEASURES MUST BE IMPLEMENTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL SITE UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION.
- PATCH ANY AREA OF ASPHALT PAVING OR CONCRETE PAVING AND CONC. CURB, DISTURBED BY CONSTRUCTION.
- GENERAL CONTRACTOR TO ROUGH GRADE AND FINISH GRADE ANY AREAS DISTURBED BY CONSTRUCTION. SEEDING OF AREAS BY GENERAL CONTRACTOR, ALL DRIVEWAY CUTS AND CURBING SHALL COMPLY WITH THE LOCAL MUNICIPALITY STANDARDS.
- SEE LANDSCAPE PLAN FOR PLANTING INFORMATION.
- HANDICAP ACCESSIBILITY MUST BE MAINTAINED AT ALL FRONT AND REAR DOORS. COORDINATE PARKING LOT GRADING AND RAMPS WITH DOOR LOCATIONS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION UNTIL THE SITE IS STABILIZED BY VEGETATION OR OTHER APPROVED MEANS.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREA, INCLUDING SOIL STOCKPILES LEFT INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING / MULCHING OR OTHER METHODS APPROVED BY THE LOCAL MUNICIPALITY EROSION CONTROL INSPECTOR.
- WASTE MATERIAL GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO A RECEIVING WATER OR STORM SEWER SYSTEM.
- IN THE CASE OF LATE SEASON AND WINTER CONSTRUCTION, RESTORATION / LANDSCAPING OF THE SITE SHALL OCCUR NO LATER THAN JUNE 1st OF THE NEXT CONSTRUCTION SEASON. EROSION CONTROL MEASURES SHALL REMAIN INTACT UNTIL FINAL RESTORATION OF THE SITE IS COMPLETE. FABRIC INSIDE THE INLET AND CATCH BASIN GRATING SHALL BE REMOVED AS SOON AS FREEZING WEATHER OCCURS SO DRAINAGE IS NOT IMPAIRED THROUGHOUT THE WINTER MONTHS. ALL EROSION CONTROL PRACTICES REMOVED OR DAMAGED DUE TO WINTER WEATHER SHALL BE REPLACED IN THE SPRING IMMEDIATELY AFTER THE THAW.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.
- THE EXISTING GRASS STREET TERRACE WITHIN THE LOCAL MUNICIPALITY RIGHT OF WAY SHALL BE MAINTAINED AS BUFFER THROUGHOUT CONSTRUCTION. AT A MINIMUM, THE GRASS TERRACE SHALL BE RESTORED WITH TEMPORARY SEED (OATS / RYE) AND MULCHED WITHIN 10 DAYS OF THE COMPLETION OF ALL LATERAL INSTALLATIONS AND OTHER CONSTRUCTION ACTIVITY. IF THE TERRACE IS NOT TO BE RESTORED DURING FINAL LANDSCAPING, A PERMANENT SEED MIX SHALL BE UTILIZED.

**KEYED SITE PLAN NOTES**

S1	CONCRETE STOOD IV 2" RIGID INSULATION UNDERNEATH - REFER TO PLANS, SITE DETAILS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
S2	6" THICK CONCRETE APRON WITH THICKENED EDGE IV 2" THK. RIGID INSUL. - REFER TO PLANS, SITE DETAILS AND CIVIL PLANS FOR ADDITIONAL INFORMATION.
S3	EXTERIOR LIGHT POLE. REFER TO SITE LIGHTING (PHOTOMETRICS), CONTRACTOR TO PROVIDE POWER OUTLET AT LIGHT POLE. LIGHT POLE BASE TO BE HAND-RUBBED. CONCRETE WALK, REFER TO CIVIL DRAWINGS FOR ADDTL. INFO. PROVIDE SCORE JOINTS APPROX. 5'-0" O.C. AND CONTROL JOINTS 24'-0" O.C. MAX.
S4	ELECTRICAL TRANSFORMER, COORDINATE LOCATION WITH ELECTRICAL CONTRACTOR/ UTILITY CONTRACTOR. REFER TO ELECTRICAL DRAWINGS FOR ADDTL. INFO.
S5	CONCRETE CURB, REFER TO CIVIL DRAWINGS.
S6	C.T. CABINET, COORDINATE LOCATION WITH ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFO.
S7	NEW PYLON SIGN BY OWNER'S VENDOR. FOUNDATION BY SIGN CONTRACTOR. PROVIDE ELECTRICAL & CONTROL CONDUIT FROM BUILDING TO SIGN. VERIFY LOCATION & REQUIREMENTS WITH OWNER.
S8	FENCE, REFER TO CIVIL DRWG'S. FOR ADDTL. INFO.
S9	FLAG POLE (COLOR: TBD), WITH POLE MOUNTED UP-LIGHTING SYSTEM (SINGLE, WATER-TIGHT, LED LIGHT MOUNTED AT 10'-0"). REFER TO DETAILS. ELECTRICAL CONTRACTOR TO PROVIDE POWER. PROVIDE (3) 10X15 FLAGS.
S10	GAS METER, REFER TO PLUMB, DRWGS. FOR ADDTL. INFO.
S11	PARKING LOT STRIPING - STRIPE AS SHOWN ON PLAN ONLY AFTER VERIFYING LOCATION WITH OWNER - COLOR WHITE (VERIFY).
S12	ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT FOR POWER/DATA & CONTROLS TO PYLON SIGN.
S13	DETENTION BASIN. REFER TO CIVIL DRAWINGS FOR ADDTL. INFO.
S14	ADA PARKING IV H.C. SIGN AND POST PER D.O.T. ADMIN. RULE TRANS 200.01, TYPICAL. PROVIDE ONE POST MOUNTED SIGN IV ADDITIONAL D.O.T. APPROVED SIGN STATING "VAN ACCESSIBLE" AT A SPACE WITH AN ADJACENT 8'-0" WIDE ASBLE. ADA PARKING SPACE & ACCESSIBLE ASBLE SHALL HAVE A SURFACE SLOPE NOT TO EXCEED 1:50 (2%) IN ALL DIRECTIONS. REFER TO ADA DETAILS. REFER TO CIVIL DRAWINGS FOR ADDTL. INFO.
S15	KNOX-BOX BY GENERAL CONTRACTOR. COORDINATE WITH LOCAL FIRE DEPARTMENT. VERIFY FINAL LOCATION WITH FIRE DEPARTMENT PRIOR TO INSTALLATION.
S16	ASPHALT PAVING. REFER TO CIVIL DRAWINGS FOR PAVING AND BASE DESIGN, TYP.
S17	EXTERIOR HOSE BIBS BY PLUMBING CONTRACTOR. REFER TO PLUMBING DRAWINGS.
S18	6" DIAMETER STEEL PIPE BOLLARD, FILLED SOLID IV CONC., PRIMED AND COVERED WITH P.V.C. COVER (BLACK WITH (2) YELLOW STRIPES). REFER TO DETAIL 1/A-1.15 AND 2/A-1.15
S19	ACCESSIBLE ASBLE PARKING LOT STRIPING, COLOR TO MATCH PARKING LOT STRIPING. REFER TO CIVIL DRAWINGS FOR ADDTL. INFO.
S20	ACCESSIBLE STALL PAINTED SYMBOL. REFER TO CIVIL DRAWINGS FOR ADDTL. INFO.
S21	DUMPSTER ENCLOSURE, 6' HIGH BLACK VINYL COATED CHAIN-LINK FENCE SYSTEM, IV GATES, INCLUDE BLACK P.V.C. SLATS WITH FENCE AND GATES, TYP.
S22	(6) 6" DIAMETER STL. PIPE BOLLARDS, 42" HIGH FROM GRADE/SLAB TO TOP OF BOLLARD (SET 4'-0" INTO GROUND), CONC. FILLED, AND EPOXY PAINTED (YELLOW) CENTER (3) BOLLARDS AT EACH DUMPSTER, SPACED 3'-0" APART.
S23	4" WIDE BLACK VINYL COATED CHAIN-LINK GATE.
S24	12" WIDE BLACK VINYL COATED CHAIN-LINK GATE.



**NEW GMC DEALERSHIP BUILDING:**  
 FIRST FLOOR= 34,700 S.F.  
 MEZZANINE AREA= 4,258 S.F.  
 (INCLUDES PART OF AREA, CLASSIFIED AS EQUIPMENT PLATFORM)  
 (TOTAL BUILDING AREA= 38,958 S.F.)

NOTE:  
 CITY IS WORKING WITH OWNER ON LARGE FLAG-POLE AT THIS APPROXIMATE LOCATION. FINAL SIZE OF POLE & LOCATION TO BE DETERMINED, AS WELL AS SUPPLY AND INSTALLATION OF FLAG-POLE SYSTEM.

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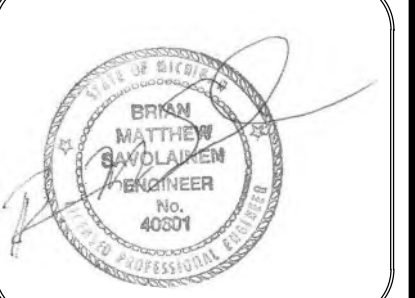
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1 ARCHITECTURAL SITE PLAN  
 A-0.1 1" = 30'-0"

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**A-0.1**

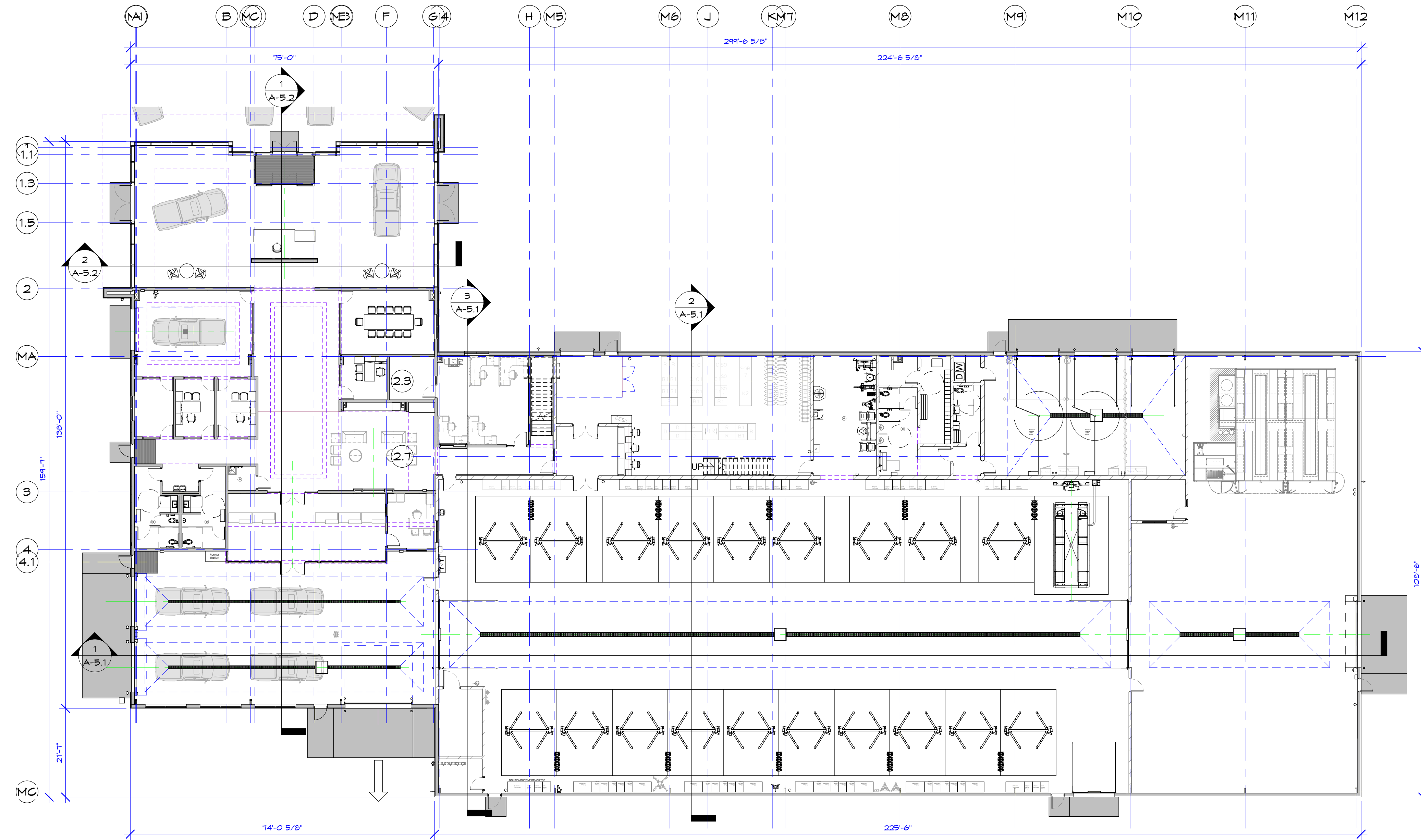
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**GENERAL FLOOR PLAN NOTES:**

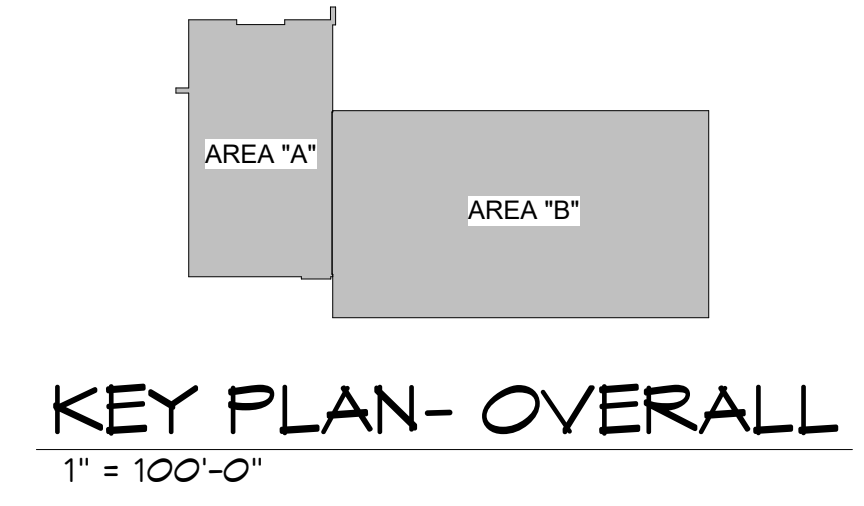
- CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS & FEES REQUIRED TO COMPLETE THE PROJECT.
- CONSTRUCTION & INSTALLATION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE & NATIONAL BUILDING CODES & THE AMERICANS WITH DISABILITY ACT.
- ALL NEW WALLS SHALL BE CONSTRUCTED AS PER THE WALL TYPE & SHALL BE CARRIED TO THE STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. PREPARE ALL SURFACES FOR FINISHES INDICATED.
- CONTRACTOR TO PROVIDE BLOCKING OR GROUTED CMU CORES FOR ALL WALL SUPPORTED CASEWORK, TOILET ACCESSORIES, HANDRAILS, EQUIPMENT, DOOR STOPS, SHELVING, ETC. AS REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH EQUIPMENT MANUFACTURERS TO ENSURE APPROPRIATE ROUGH IN CLEARANCE FOR EQUIPMENT INSTALLATION & USE.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT A.D.A. STANDARD MOUNTING HEIGHTS FOR THE PARTICULAR APPLICATION INDICATED. REFER QUESTIONABLE MOUNTING HEIGHT CHOICES TO THE ARCHITECT FOR A FINAL DECISION.
- DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS AND INTERIOR WALL THICKNESSES ARE FROM THE FINISHED FACE OF WALL TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL LAYOUT & MARK ALL WALLS & OPENINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- ALL FURNITURE AND EQUIPMENT NOT SPECIFICALLY NOTED ON PLANS SHALL BE SUPPLIED AND INSTALLED BY OWNER. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL & DATA OUTLETS, ETC W/ FINAL FURNITURE LAYOUT DRAWINGS.
- ALL DOOR OFFSETS (HINGE SIDE) TO BE A MINIMUM OF 4", UNLESS NOTED OTHERWISE.
- ALL GYP. BOARD SHALL RETURN TO ALL WINDOW/DOOR FRAMES AT JAMBS & HEAD, TYPICAL, UNLESS NOTED OTHERWISE.
- ENTIRE BUILDING TO BE EQUIPPED WITH AN APPROVED, SUPERVISED, AUTOMATIC FIRE SPRINKLER SYSTEM. THIS SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13 BY THE FIRE SPRINKLER CONTRACTOR.
- GENERAL CONTRACTOR TO COORDINATE WHETHER ANY CMU CORES NEED GROUTED FOR WALL-MOUNTED EQUIPMENT.
- REFER TO SITE PLAN SHEET FOR CONCRETE WALK LAYOUT.
- BULL-NOSE CMU REQUIRED AT CORNERS- REFER TO INTERIOR WALL TYPES FOR ADD'L INFORMATION.
- ANY PENETRATIONS IN DESIGNATED FIRE WALLS SHALL MAINTAIN THE REQUIRED FIRE SEPARATION BETWEEN AREAS. CONTRACTOR TO PROVIDE SLEEVES, FIRE RETARDANT INSULATION & FIRE CAULKING AS REQUIRED.

**STANDARD FLOOR PLAN NOTATION:**

- INDICATES EXIT LIGHTS (SEE LIFE-SAFETY PLAN SHEET, REFL. CLG. PLANS AND ELECTRICAL PLANS FOR LOCATIONS)
- INDICATES SEMI-RECESSED FIRE EXTINGUISHER CABINET
- INDICATES FIRE EXTINGUISHER - MIN. 10# "A-B-C" (UNLESS NOTED OTHERWISE) OR OTHER AS REQ'D. BY STATE AND/OR LOCAL CODE. SEE SPECIFICATIONS. (MOUNT AT 4'-0" A.F.F. MAX. TO TOP/EXTINGUISHER).
- FLOOR DRAIN
- CATCH BASIN
- INDICATES WALL TYPES, REFER TO INT. WALL TYPES FOR INFORMATION.



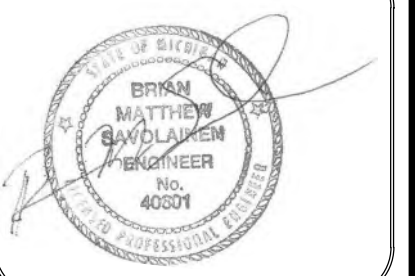
1  
A-1.1 1/16" = 1'-0"



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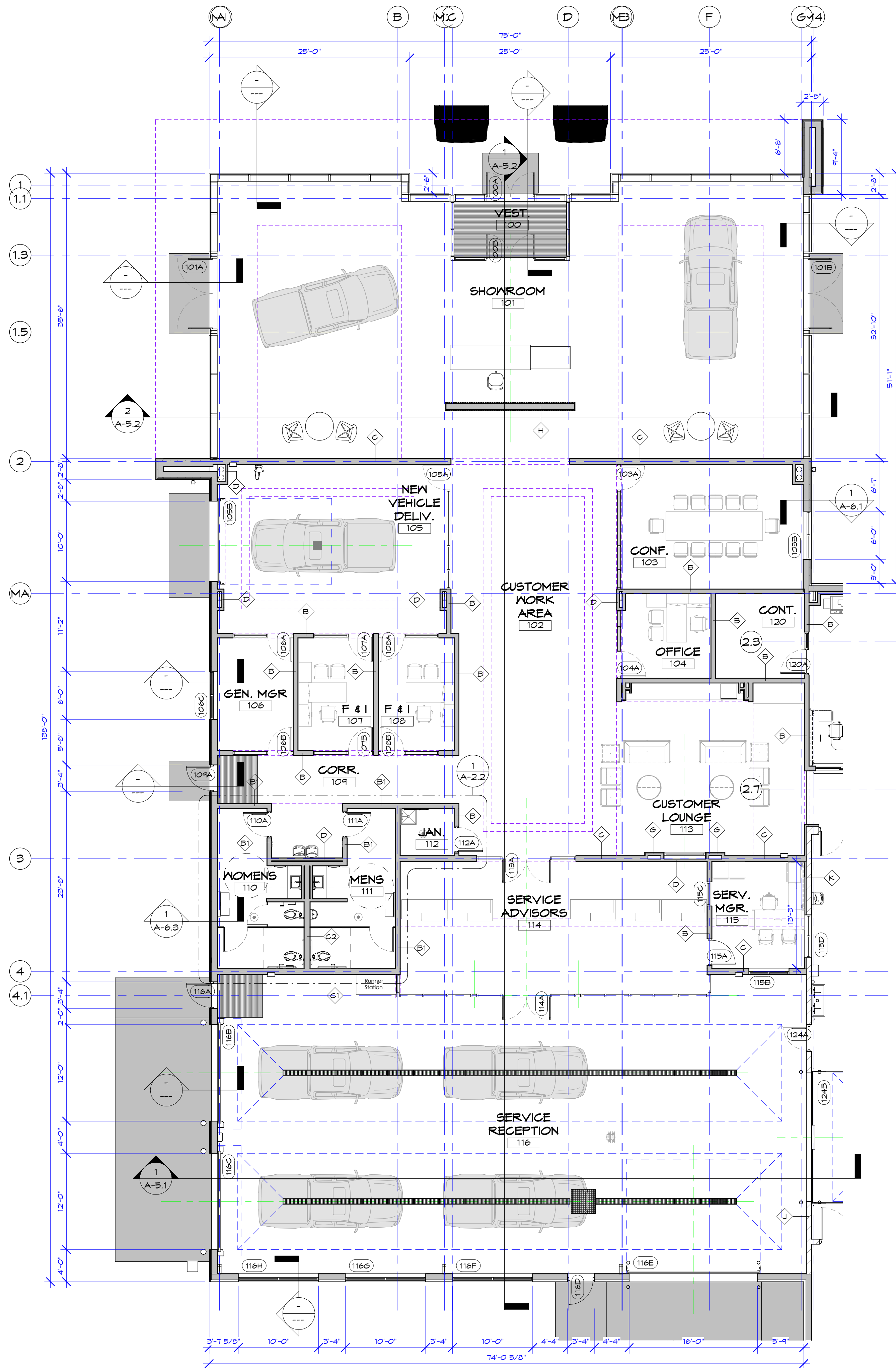


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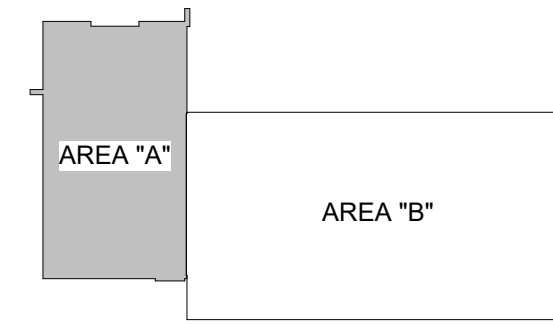
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**A-1.1**

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NOTE:  
 - REFER TO SHEET A-1.1 FOR GENERAL FLOOR PLAN NOTES.  
 - REFER TO SHEET A-1.6 FLOOR PLAN KEY NOTES.  
 - REFER TO SHEET A-1.3 FOR FIRST FLOOR AREA "A" PLAN DIMENSIONS.



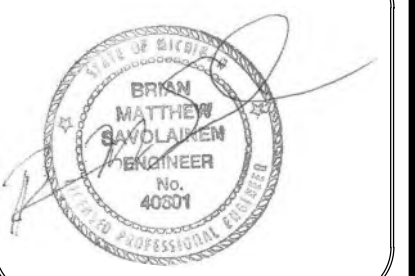
1  
 A-1.2 1/8" = 1'-0"  
 FIRST FLOOR PLAN - AREA 'A'

KEY PLAN- AREA "A"  
 1" = 100'-0"

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NOTE:  
 - REFER TO SHEET A-1.1 FOR GENERAL FLOOR PLAN NOTES  
 - REFER TO SHEET A-1.6 FLOOR PLAN KEY NOTES  
 - REFER TO SHEET A-1.5 FOR FIRST FLOOR AREA 'B' PLAN DIMENSIONS.

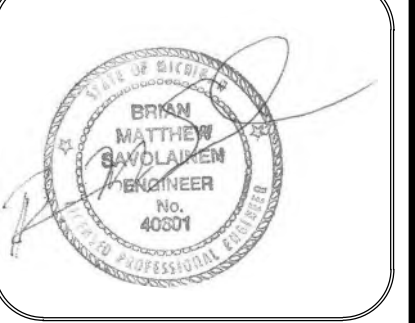
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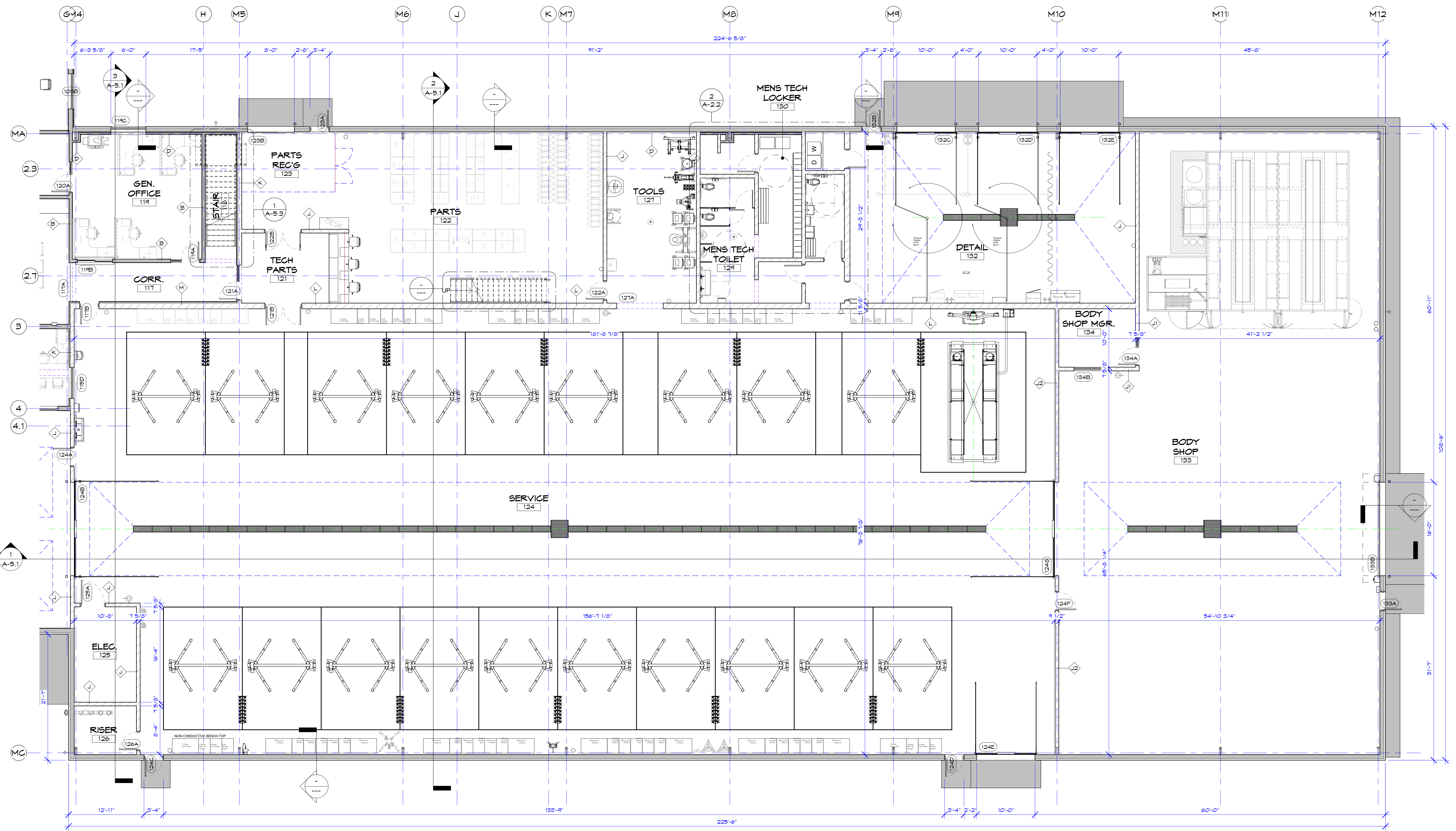
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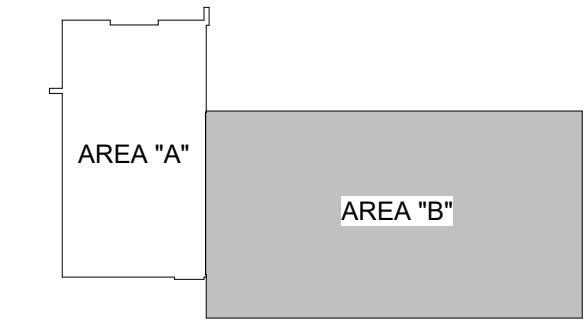
**A-1.4**

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**1** FIRST FLOOR PLAN - AREA 'B'  
 A-1.4 1/8" = 1'-0"



**KEY PLAN- AREA "B"**  
 1" = 100'-0"

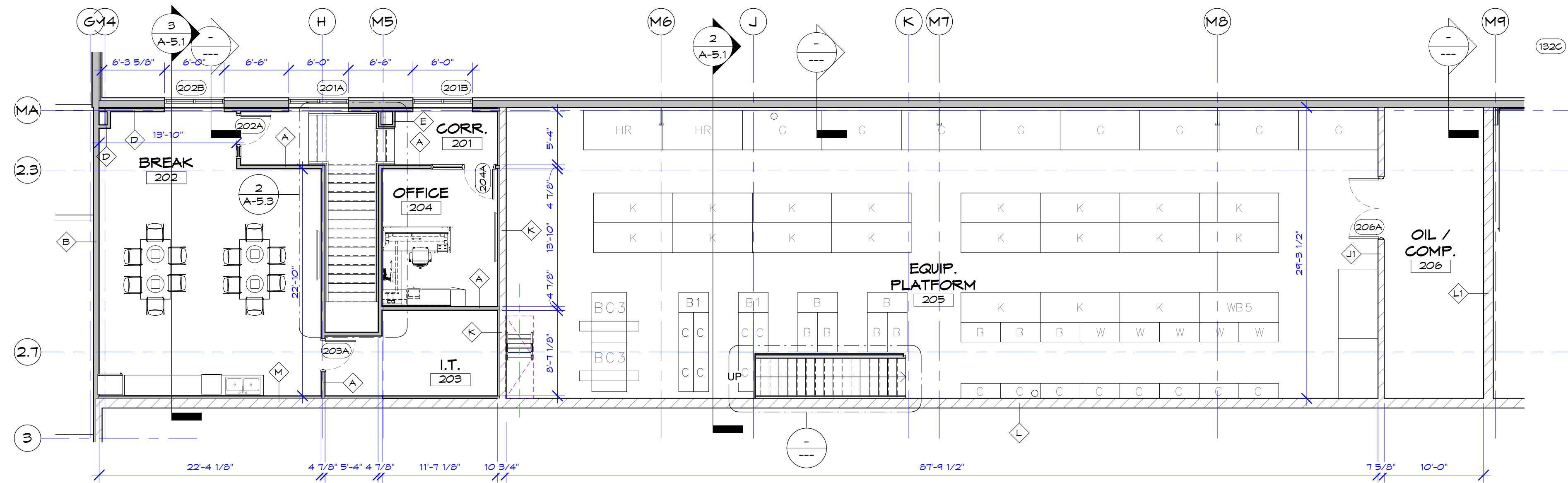
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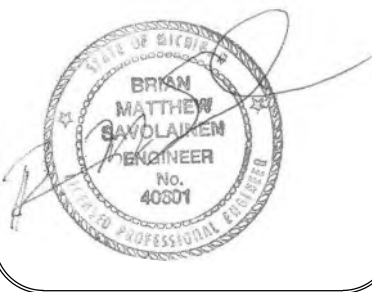
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KEYED PLAN NOTES

NOTE:  
- REFER TO SHEET A-1.1 FOR GENERAL FLOOR  
PLAN NOTES.



1 MEZZANINE FLOOR PLAN  
A-1.6 1/8" = 1'-0"



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A-1.6

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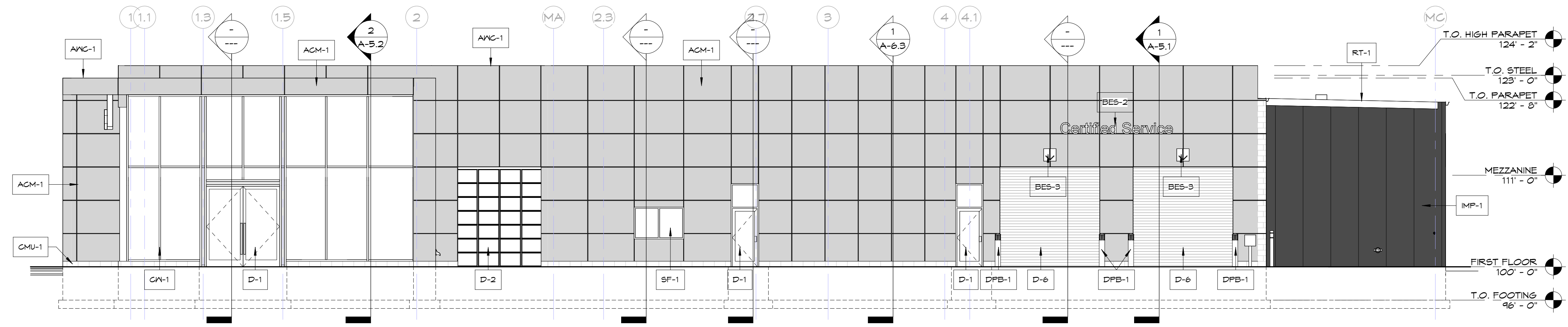
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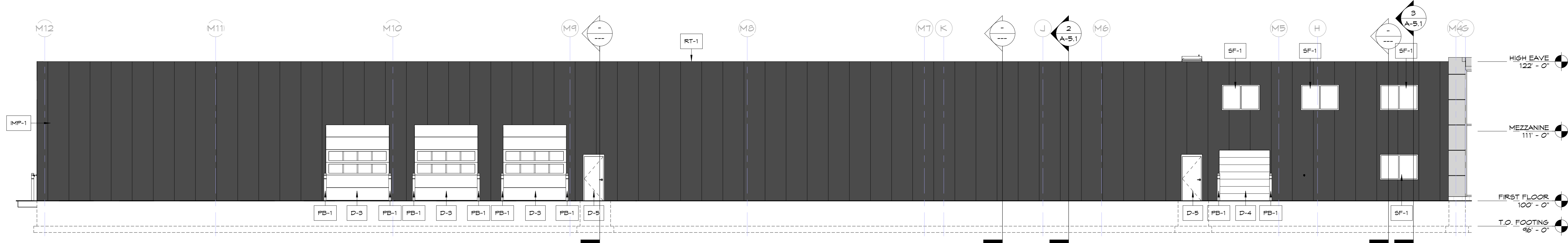
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NOTE: REFER TO SHEET A-4.4 FOR EXTERIOR FINISHES & NOTES.

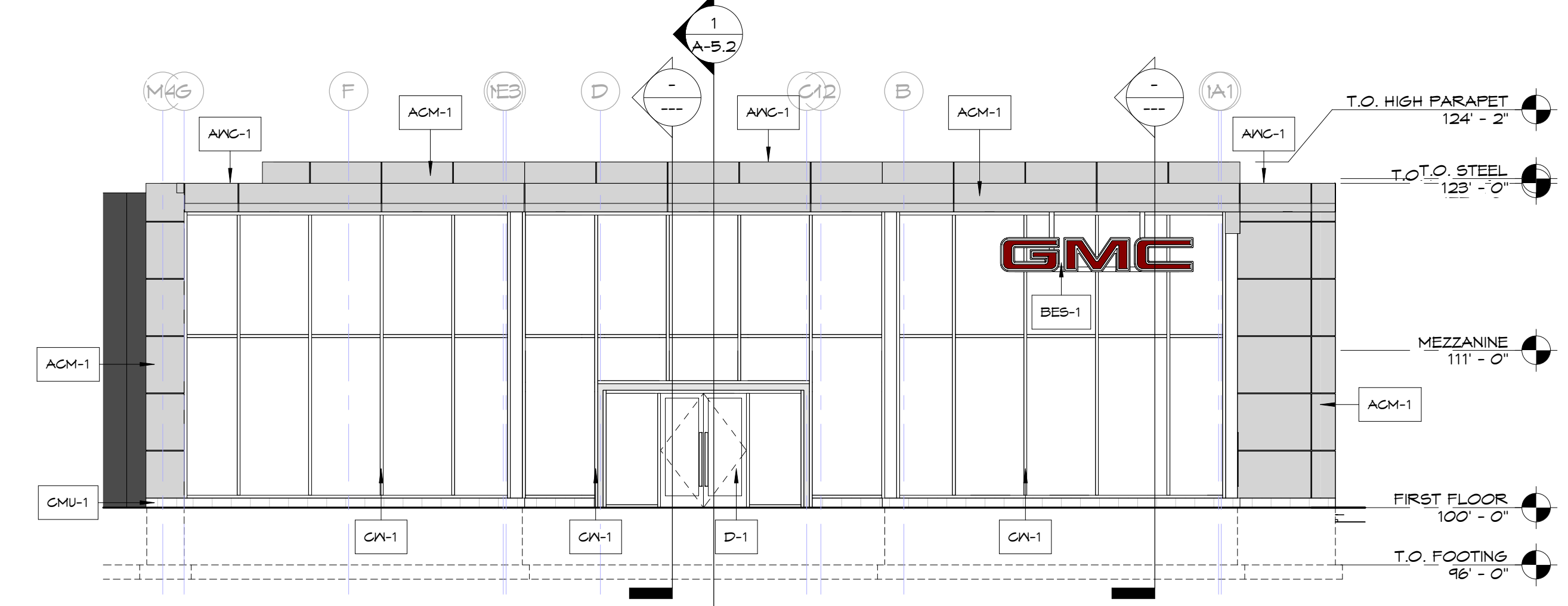
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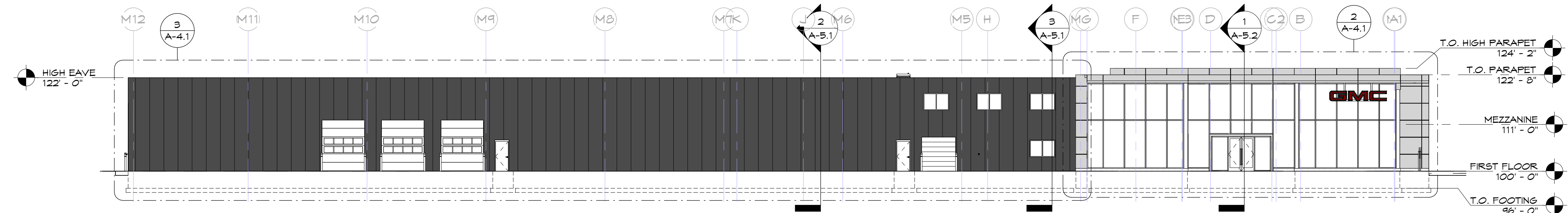
4 WEST ELEVATION  
A-4.1 1/8" = 1'-0"



3 NORTH ELEVATION - AREA 'B'  
A-4.1 1/8" = 1'-0"



2 NORTH ELEVATION - AREA 'A'  
A-4.1 1/8" = 1'-0"



1 NORTH ELEVATION  
A-4.1 1/16" = 1'-0"

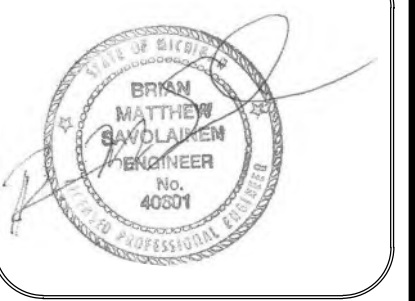
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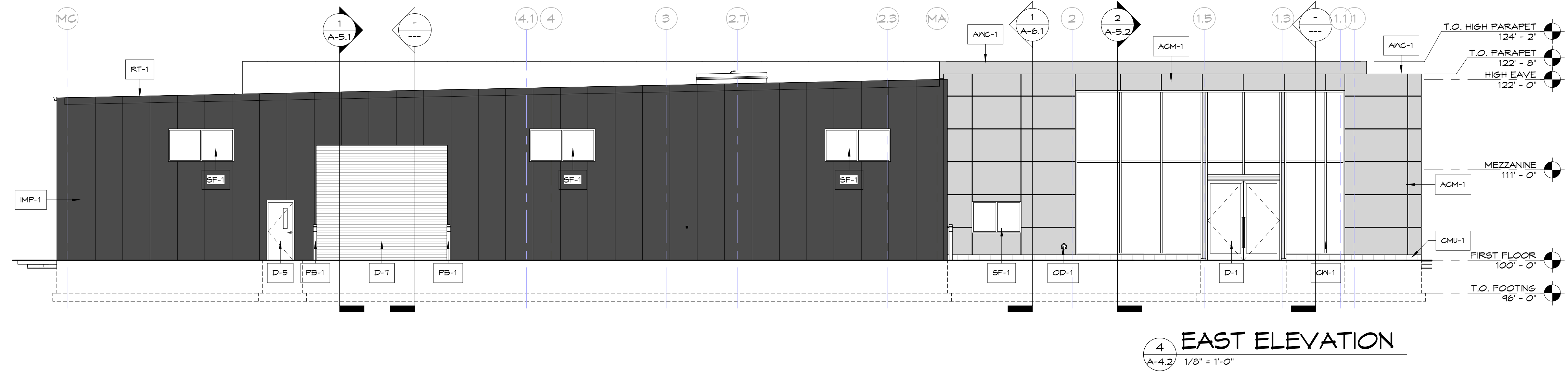
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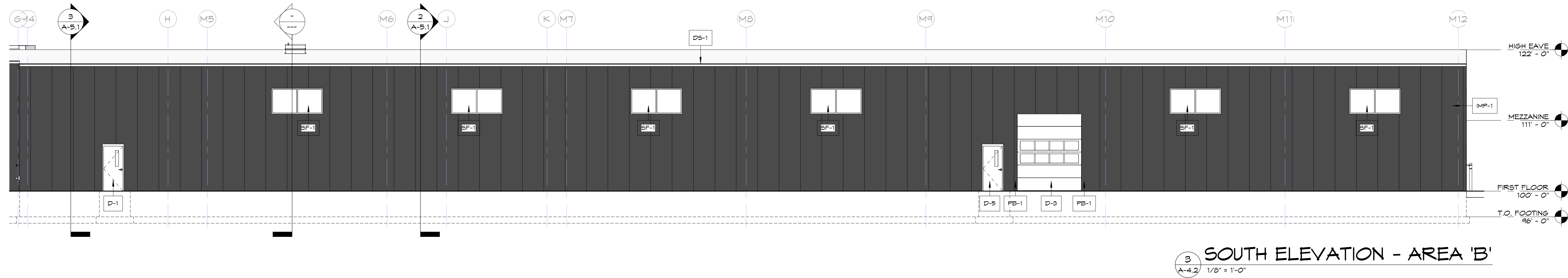
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NOTE: REFER TO SHEET A-4.4 FOR EXTERIOR FINISHES & NOTES.

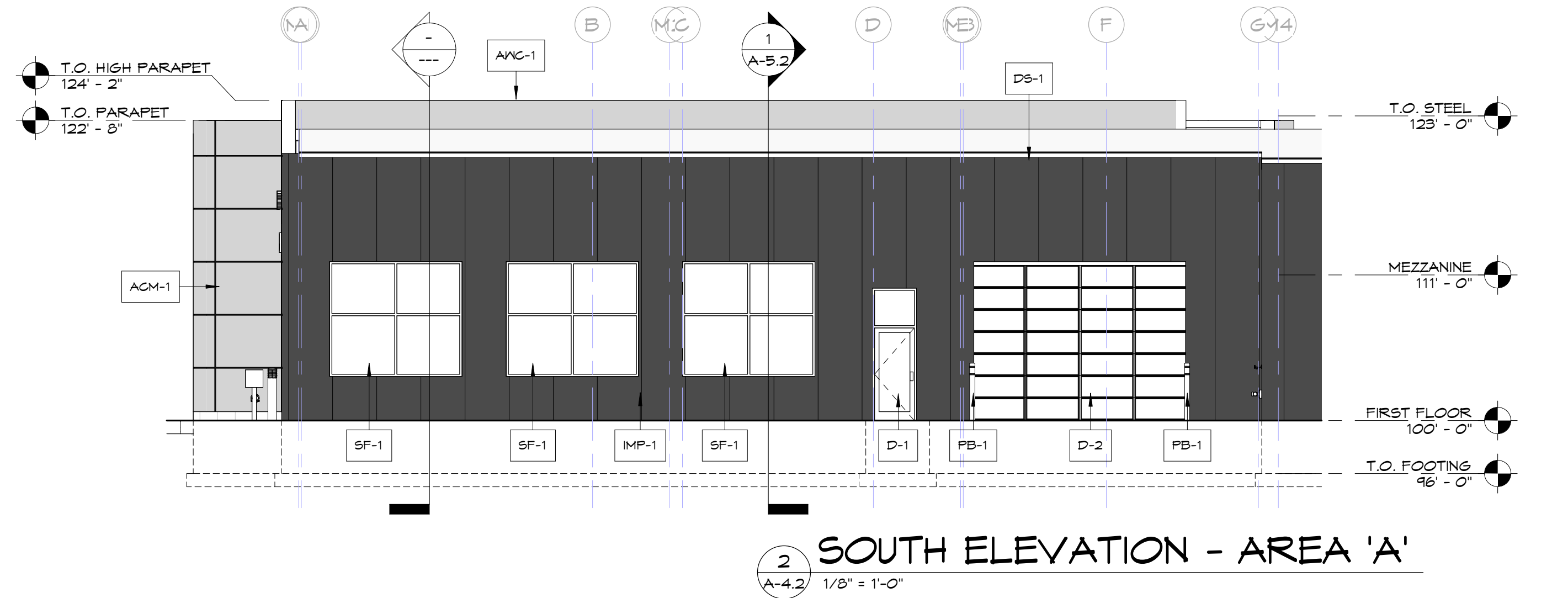
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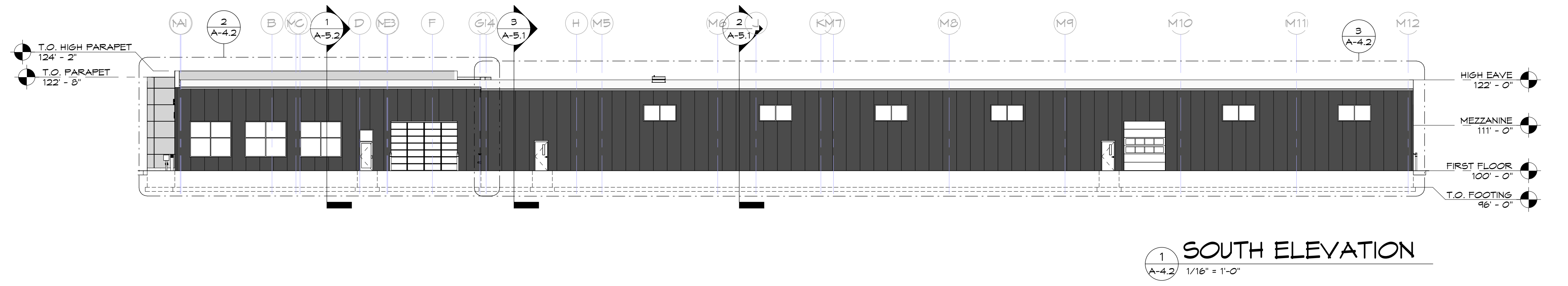
4 EAST ELEVATION  
A-4.2 1/8" = 1'-0"



3 SOUTH ELEVATION - AREA 'B'  
A-4.2 1/8" = 1'-0"

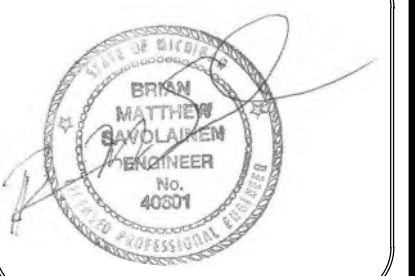


2 SOUTH ELEVATION - AREA 'A'  
A-4.2 1/8" = 1'-0"



1 SOUTH ELEVATION  
A-4.2 1/16" = 1'-0"

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**EXTERIOR FINISH LEGEND**

KEY NOTE	MATERIAL SUMMARY	KEY NOTE	MATERIAL SUMMARY	KEY NOTE	MATERIAL SUMMARY	KEY NOTE	MATERIAL SUMMARY
ACM-1	<b>METAL PANEL (A.C.M.):</b> MFR: ALUCOBOND SYSTEM/TYPE: - ALUCOBOND PLUS, DRY JOINT SYSTEM W/ EXTRUSIONS TO MATCH PANELS (RAIN-SCREEN), PANEL THICKNESS: 4MM. COLOR: NEW AGE DARK BRONZE MGA, CLASSIC COLLECTION STYLE NUMBER: PVD 2, GLOSS 20-30, SKU: 4B030 LOCATION: EXTERIOR WALLS, REFER TO PLANS & ELEVATIONS INSTALLATION NOTE: ALUMINUM COMPOSITE MATERIAL DIRECTION RUNS VERTICAL IN ELEVATION, PARALLEL IN ADJACENT HORIZONTAL PLANE, NEVER PERPENDICULAR.	CM-1	<b>ALUMINUM CURTAINMALL SYSTEM:</b> MFR: KAWNEER STYLE: 1600-1, CAPPED ANODIZED FRAME, TYP. GLAZING: INSULATED, CLEAR, REFER TO FRAME ELEVATIONS FINISH/COLOR: CLEAR ANODIZED, CLASS 1 LOCATION: EXTERIOR WALLS, REFER TO PLANS & ELEVATIONS NOTE: THERMALLY BROKEN SILL FLASHING WITH END-DAMS, REFER TO ELEVATIONS & DETAILS FOR ADD'L. INFO. INCLUDE SLIP TRACK AT HEAD.	D-1	<b>ALUMINUM ENTRANCE W/ INSUL. GLAZING:</b> MANUFACTURER: KAWNEER 350 OR EQUAL STYLE: REFER TO DOOR SCHEDULE & ELEVATIONS (MED. STILE) GLAZING: 1" INSULATED, TEMPERED, REFER TO DOOR SCHED. & DOOR TYPE ELEV. FOR ADD'L. INFO. COLOR: CLEAR ANODIZED, CLASS 1 LOCATION: EXTERIOR, REFER TO PLANS & ELEVATIONS	DPB-1	<b>DECORATIVE PIPE BOLLARD:</b> BOLLARD: BRUSHED STAINLESS STEEL, DECORATIVE STYLE, WITH L.E.D. LIGHTING MFR: T.B.D. STYLE/COLOR: T.B.D.
IMP-1	<b>INSULATED METAL WALL PANEL (PRE-FINISHED):</b> MFR: TBD STYLE: TBD FINISH/COLOR: TBD LOCATION: REFER TO EXTERIOR ELEVATIONS.	SF-1	<b>ALUMINUM STOREFRONT SYSTEM:</b> MFR: KAWNEER TRIFAB 451T (BASIS OF DESIGN) STYLE: 2'x4 1/2' STOREFRONT FRAMING GLAZING: INSULATED, CLEAR, REFER TO FRAME ELEVATIONS FINISH/COLOR: CLEAR ANODIZED, CLASS 1 LOCATION: EXTERIOR WALLS, REFER TO PLANS & ELEVATIONS NOTE: THERMALLY BROKEN SILL FLASHING WITH END-DAMS, REFER TO ELEVATIONS & DETAILS FOR ADD'L. INFO.	D-2	<b>OVERHEAD DOOR INSUL. ALUM. W/ GLAZING:</b> MANUFACTURER: C.H.I. OVERHEAD DOORS 324B, OR EQUAL STYLE: ALUMINUM FULL-VIEW W/ INSUL. GLAZING GLAZING: INSULATED, TEMPERED, REFER TO DOOR SCHED. & DOOR TYPE ELEV. FOR ADD'L. INFO. FINISH/COLOR: CLEAR ANODIZED, CLASS 1 LOCATION: EXTERIOR, REFER TO PLANS & ELEVATIONS	PB-1	<b>PIPE BOLLARD (W/ P.V.G. COVER):</b> BOLLARD: STL. CONC. FILLED, REFER TO PLANS, NOTES, & DETAILS. P.V.G. COVER MFR, POST GUARD, OR EQUAL COLOR: GREY WITH (2) WHITE STRIPES, VERIFY PRIOR TO ORDERING.
CMU-1	<b>GROUND-FACE/BURNISHED C.M.U., COLOR INTEGRAL:</b> SUPPLIER: COUNTY MATERIALS TYPE/STYLE: PREMIER ULTRA, BURNISHED COLOR: GALAXY (63-234C), VERIFY PRIOR TO ORDERING. SIZE: 10'x16" (STD. UNITS) MORTAR: MATCH TO BLOCK COLOR LOCATION: EXTERIOR WALLS, REFER TO PLANS & ELEVATIONS (NOTE: ALL MASONRY SHALL BE CLEANED & SEALED)	AVC-1	<b>A.C.M. COPING SYSTEM (WALL COPING)</b> MFR: ALUCOBOND COLOR: COLOR TO MATCH ACM1. SYSTEM/TYPE: DRY JOINT SYSTEM (RAIN-SCREEN) LOCATION: EXTERIOR WALLS - COPING WHERE ACM IS LOCATED - REFER TO PLANS AND ELEVATIONS NOTE: COPING IS A CONTINUATION OF ADJACENT A.C.M. WALL PANEL, TO WRAP OVER PARAPET WALL, TYP.	D-3	<b>OVERHEAD DOOR INSUL. W/ (2) ROWS OF VISION GLAZING:</b> MANUFACTURER: OVERHEAD DOOR, (BASIS OF DESIGN) STYLE: THERMACORE SECTIONAL STEEL DOOR, MODEL #546 (R-VALUE: 11.4) GLAZING: INSUL., CLEAR, (2) ROWS, VERIFY GLAZING ROW LOCATIONS PRIOR TO ORDERING. FINISH/COLOR: PRE-FINISHED, WHITE (VERIFY PRIOR TO ORDERING) NOTE: REFER TO DOOR SCHED. & DOOR ELEV. FOR ADDITIONAL SPECIFICATIONS/REQUIREMENTS.	MP-1	<b>WALL PACK LIGHT FIXTURE</b> REFER TO ELECTRICAL DRWSG.
EP-1	<b>EXTERIOR PAINT:</b> MFR: SHERWIN WILLIAMS STYLE NUMBER: SW0037 COLOR: MORRIS ROOM GREY LOCATION: HOLLOW METAL DOORS & FRAMES, REFER TO PLANS & ELEVATIONS. NOTE: EXTERIOR GRADE PAINT, TYPE BASED ON APPLICATION OF MATERIAL BEING APPLIED TO.	RT-1	<b>RAKE &amp; EAVE TRIM (PRE-FINISHED):</b> MFR: BY PEMB SUPPLIER STYLE: PRE-FINISHED RAKE & EAVE TRIM FINISH/COLOR: TBD LOCATION: REFER TO EXTERIOR ELEVATIONS	D-4	<b>OVERHEAD DOOR INSUL:</b> MANUFACTURER: OVERHEAD DOOR, (BASIS OF DESIGN) STYLE: THERMACORE SECTIONAL STEEL DOOR, MODEL #546 (R-VALUE: 11.4) GLAZING: NONE FINISH/COLOR: PRE-FINISHED, WHITE (VERIFY PRIOR TO ORDERING) NOTE: REFER TO DOOR SCHED. & DOOR ELEV. FOR ADDITIONAL SPECIFICATIONS/REQUIREMENTS.	BES-1	<b>BUILDING EXTERIOR SIGNAGE: (BY OWNER)</b> MANUFACTURER: AGI STYLE/TYPE: GMC SYMBOL/LETTERS. POWER REQUIREMENTS: POWER IS REQUIRED, REFER TO ELECTRICAL DRAWINGS. COORDINATE FINAL POWER W/ OWNER AND SIGNAGE VENDOR. NOTE: CONTRACTOR TO PROVIDE REQUIRED MOUNTING STRUCTURE, AS THIS SIGN IS 'CEILING/SOFFIT' HUNG. DEALER NOTE: EXTERIOR SIGNAGE IS PURCHASED BY DEALER & INSTALLED BY SIGN MFR. VENDOR. AGI IS SIGN VENDOR.
		DS-1	<b>METAL GUTTERS &amp; DOWNSPOUTS (PRE-FINISHED):</b> MFR: TBD STYLE: PRE-FINISHED METAL GUTTERS & DOWNSPOUTS FINISH/COLOR: TBD LOCATION: REFER TO EXTERIOR ELEVATIONS	D-5	<b>HOLLOW METAL DOOR INSUL. (W/ GLAZING AS NOTED/SHOWN):</b> STYLE: HOLLOW METAL, PAINTED, REFER TO DOOR SCHEDULE & ELEVATIONS LOCATION: EXTERIOR, REFER TO PLANS, DOOR SCHED., & DOOR TYPE ELEVATIONS.	BES-2	<b>BUILDING EXTERIOR SIGNAGE: (BY OWNER)</b> MANUFACTURER: AGI STYLE/TYPE: 'CERTIFIED SERVICE' SYMBOL/LETTERS. POWER REQUIREMENTS: POWER IS REQUIRED, REFER TO ELECTRICAL DRAWINGS. COORDINATE FINAL POWER W/ OWNER AND SIGNAGE VENDOR. NOTE: CONTRACTOR TO PROVIDE REQUIRED BLOCKING (BLOCKING TO BE PAINTED, WHERE EXPOSED, TO MATCH WALL COLOR) INSTALL ACCESS PANELS AT LOCATIONS WHERE NEEDED, REFER TO PLANS. ALL EXPOSED WHIPS OR ELECTRICAL EQUIPMENT SHALL BE COVERED WITH BRASS METAL CHASE COVER, PAINTED TO MATCH ADJACENT WALL COLOR. DEALER NOTE: EXTERIOR SIGNAGE IS PURCHASED BY DEALER & INSTALLED BY SIGN MFR. VENDOR. AGI IS SIGN VENDOR.
				D-6	<b>OVERHEAD DOOR INSUL. HIGH-SPEED, W/ COMPLETE VISION PANELS:</b> MANUFACTURER: REFER TO DOOR SCHED. & ELEVATIONS (BASIS OF DESIGN RYTEC), OR EQUAL. STYLE: ALUMINUM W/ INSUL. GLAZING (RYTEC- SPIRAL FV), REFER TO DOOR SCHED. & ELEVATIONS. GLAZING: INSUL., CLEAR FINISH/COLOR: CLEAR ANODIZED	BES-3	<b>BUILDING EXTERIOR SIGNAGE (BY CONTRACTOR):</b> MANUFACTURER: DIRECTIONAL SYSTEMS OR EQUAL STYLE: DIRECTIONAL LED LANE LIGHTS - X/DOWN ARROW POWER REQUIREMENTS: POWER IS REQUIRED, REFER TO ELECTRICAL DRAWINGS NOTE: CONTRACTOR TO PROVIDE REQUIRED BLOCKING. DEALER NOTE: THESE SIGNS ARE TO BE PROVIDED AND INSTALLED BY CONTRACTOR. CONTRACTOR TO PROVIDE REQUIRED POWER AND BLOCKING.
				D-7	<b>OVERHEAD DOOR INSUL. HIGH-SPEED, W/ VISION PANELS:</b> MANUFACTURER: REFER TO DOOR SCHED. & ELEVATIONS (BASIS OF DESIGN RYTEC), OR EQUAL. STYLE: INSUL. METAL PANELS WITH VISION PANELS (AT DESIGNATED LOCATIONS) (RYTEC- SPIRAL), REFER TO DOOR SCHED. & ELEVATIONS. GLAZING: INSUL., CLEAR (AT DESIGNATED LOCATIONS) FINISH/COLOR: CLEAR ANODIZED/SILVER		

**CURTAINMALL/ STOREFRONT NOTE:**  
PROVIDE PREFINISHED ALUMINUM SLIP HEAD TO MATCH ALUMINUM STOREFRONT/ CURTAIN WALL SYSTEM.

**CONTROL JOINT NOTE:**  
PROVIDE MASONRY CONTROL JOINTS AS RECOMMENDED BY MASONRY CONTRACTOR AND BLOCK SUPPLIER. CONTROL JOINTS NOT TO EXCEED 30'-0" MAX AND 20'-0" MIN.

**SHEATHING FASTENER NOTE:**  
FASTEN ALL WOOD-BASED PANELS TO COLD-FORM FRAMING W/ SELF-TAPPING CORROSION RESISTANT SCREWS. PNEUMATICALLY DRIVEN PINS FOR WOOD-BASED PANEL ATTACHMENT WILL NOT BE ACCEPTED.

**NOTE:**  
MASONRY PRICE TO INCLUDE DRY-BLOCK W/ INTEGRAL WATER REPELLENT - RHEOPEL XP.

**NOTE:**  
A.C.M. JOINT COLOR LEGEND FOR JOINT FILLER STRIPS:  
- MATCH ADJACENT A.C.M. PANEL COLOR.

**NOTE:**  
AGI IS THE REQUIRED PROVIDER/INSTALLER FOR ALL EXTERIOR BUILDING SIGNS & PYLON SIGNS, ENTRY PORTAL AND ALL A.C.M. PANEL LOCATIONS. DETAILS AND REQUIREMENTS SHALL BE COORDINATED WITH AGI. GENERAL CONTRACTOR TO COORDINATE BUILDING REQUIRED SIGN INTERIOR SHOWROOM ACCESS PANEL(S), WHERE REQUIRED FOR ELECTRICAL ACCESS WITH ARCHITECT OF RECORD/ENGINEERS.

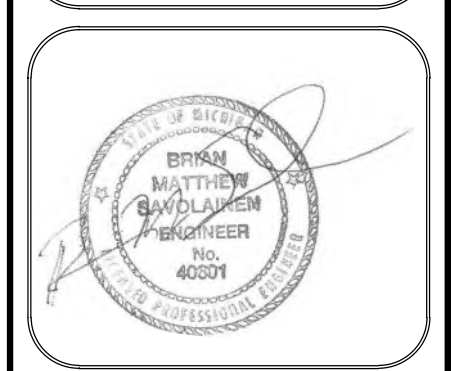
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A NEW DEALERSHIP BUILDING FOR:  
**MARQUETTE GMC**  
MARQUETTE, MI



**REVISION HISTORY**

NO.	DESCRIPTION	DATE

date: 04-06-2026  
job: 26-017  
d. by: NML

A-4.3

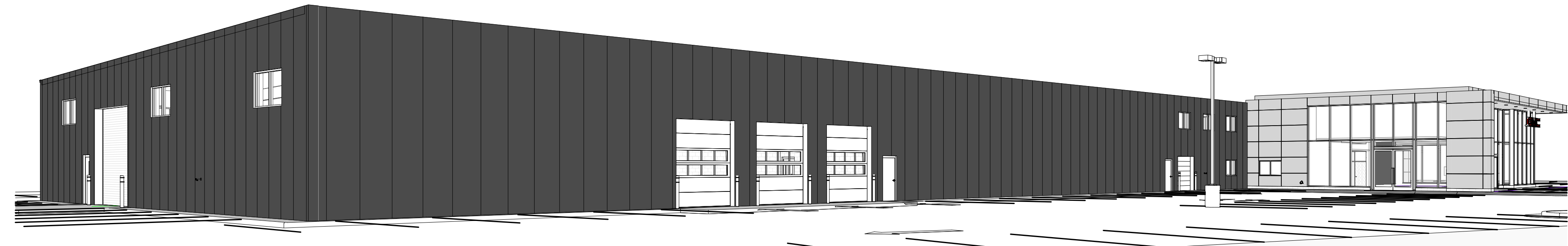
NOT FOR CONSTRUCTION

NOTE: ALL EXTERIOR 3D VIEWS ARE SHOWN FOR DESIGN INTENT ONLY. REFER TO EXTERIOR ELEVATIONS FOR REQUIREMENTS.

NOTE: ALL EXTERIOR SIGNAGE IS SHOWN FOR REFERENCE ONLY. SIGNAGE SHALL BE SUBMITTED SEPARATELY IN FUTURE THATS MEETS LDC REQUIREMENTS.



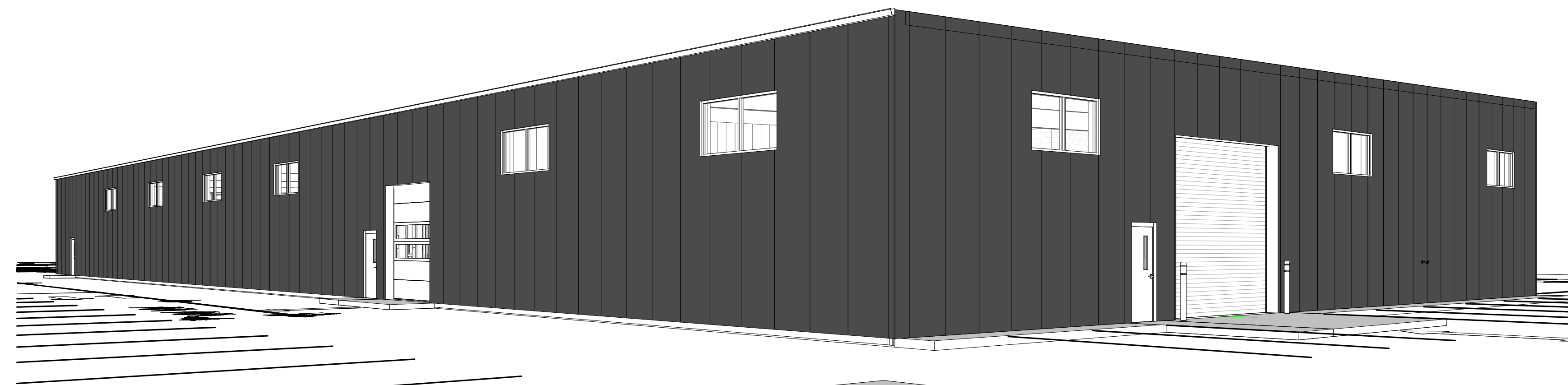
4 EXTERIOR 3D VIEW - NORTHWEST CORNER  
A-4.4



3 EXTERIOR 3D VIEW - NORTHEAST CORNER  
A-4.4



2 EXTERIOR 3D VIEW - SOUTHWEST CORNER  
A-4.4



1 EXTERIOR 3D VIEW - SOUTHEAST CORNER  
A-4.4

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A NEW DEALERSHIP BUILDING FOR:  
**MARQUETTE GMC**  
MARQUETTE, MI



REVISION HISTORY

NO.	DESCRIPTION	DATE

date: 04-06-2026

job: 26-017

d. by: NML

**A-4.4**

NOT FOR CONSTRUCTION



CITY OF MARQUETTE  
**PLANNING AND ZONING**  
1100 Wright Street  
MARQUETTE, MI 49855  
(906) 228-0425  
[www.marquettemi.gov](http://www.marquettemi.gov)

## **MEMORANDUM**

**TO:** Planning Commission  
**FROM:** Dave Stensaas, City Planner and Zoning Administrator  
**DATE:** May 1, 2026  
**SUBJECT: Work Session – Land Development Code Amendments for 2026**

---

Staff and the Planning Commission will continue the recent work on potential amendments to the Land Development Code. Materials for the work session are included, but more content may be added to the draft amendments and presented at the meeting.

# Land Development Code language for Discussion at the May 5, 2026, Planning Commission meeting

The proposed draft amendments to the **Land Development Code** are formatted in the following way:

1. New subsections and/or language is shown underlined and highlighted, as the example below indicates:

Example) H. Light Manufacturing

2. A subsection or language that is to be eliminated is indicated by strikethrough lines in the font, as the example below indicates:

Example) ~~F. Dwelling units must be located above the first floor.~~

Other text that is neither highlighted or lined-through is included for context.

Some text is highlighted in blue to explain features of the amended text.

## Amend Article 9, for duplex parking requirements

### Section 54.903 Minimum/Maximum Number of Parking Spaces

In all districts there shall be provided off-street parking for motor vehicles for specified land uses. When a public parking lot has been provided by special assessment, the minimum required parking may be reduced by the number of spaces in the public lot representing the same percentage as the property's participation in the special assessment district costs. The minimum/maximum number of spaces to be provided shall be based on the following schedule, which may only be increased in accordance with [Section 54.902\(H\)](#) and may only be reduced in accordance with the parking reduction standards of [Section 54.902\(G\)](#), [Section 54.908\(D\)](#), or the shared parking standards of [Section 54.902\(C\)](#):

**Figure 53. Minimum/Maximum Parking Spaces by Land Use**

**EXISTING**

Land Use	Minimum/Maximum Parking Requirement (standards show the parking minimums unless stated)
<b>(A) Residential and Lodging</b>	
<b>(1)</b> Single-Family and Two-Family units	Two (2) spaces per dwelling unit, except the M-U and CBD zoning districts require 1.125 spaces per dwelling unit. For parking spaces provided for residential dwelling units off-site, one (1) space per dwelling unit may be permitted off-site if proof of a lease arrangement for long-term parking is provided to the City with the application.

**PROPOSED**

Land Use	Minimum/Maximum Parking Requirement (standards show the parking minimums unless stated)
<b>(A) Residential and Lodging</b>	
(1) Single-Family and Two-Family (duplex) units	<p>Two (2) spaces per <u>single-family</u> dwelling unit, except <u>in the M-U and CBD zoning districts</u>, which require 1.125 spaces per <u>any type of dwelling unit</u>.  <u>Duplex units: Two (2) spaces per each dwelling unit with more than one bedroom, and one (1) parking space for each one-bedroom dwelling unit, except the M-U and CBD zoning districts (as above).</u></p> <p>For parking spaces provided for residential dwelling units off-site, one (1) space per dwelling unit may be permitted off-site if proof of a lease arrangement for long-term parking is provided to the City with the application.</p>

**Amend Article 10, to remove two types of street trees**

**Section 54.1003 Landscaping Design, Buffering and Screening Requirements**

Except as otherwise specified in the general requirements for each zoning district or for the specific land use, all landscaping must conform to the following standards. The clear vision triangle area requirements of [Section 54.704](#) must also be met. Existing landscaping that meets the requirements of this Article may be used to comply with the following standards:

**(A) Street Trees.**

**Figure 59. Street Tree Planting List**

Common Name	Botanical Name	Growth Habit
American Elm	<i>Ulmus Americana</i>	high spreading canopy, hardy tree survives harsh winters
Armstrong Freeman Maple	<i>Acer freemanii</i> 'Armstrong'	narrow form, smooth gray bark, prone to poor branching angles
Catalpa	<i>Catalpa speciosa</i>	medium sized, long legume-like fruits, may be damaged by ice
Cockspur Hawthorn, Thornless	<i>Crataegus crus-galli</i> 'Inermis'	Small, slow growing ornamental tree with broad, rounded crown and good winter form.
Columnar Norway Maple	<i>Acer platanoides</i> 'Columnare'	narrow upright form for tight above-ground spaces, susceptible to winter scald injuries
Green Ash	<i>Fraxinus pennsylvanica</i>	variable form, greenish-yellow flowers, can withstand periods of flood
Hackberry	<i>Celtis occidentalis</i>	medium sized with slender trunk, pendulous branches, tolerant to urban conditions, good performance in dry soils and windy conditions
Horse Chestnut (Non-Nut Bearing Only)	<i>Aesculus hippocastanum</i>	large deciduous tree with domed crown, stout branches, spectacular spring flowers
Ironwood	<i>Ostrya virginiana</i>	small tree, develops round crown, persistent through winter

Ivory Silk Japanese Tree Lilac	<i>Syringa reticulata</i> 'Ivory Silk'	upright branching, creamy white flowers, small tree with low branching
Little Leaf Linden		Readily transplanted, prefers well drained soil and full-sun, quite pollution tolerant.
Pagoda Dogwood	<i>Cornus alternifolia</i>	small with shelving branches, cream-colored flowers
Pin Oak	<i>Quercus palustris</i>	distinct branching with pyramid shape, fast growing
Princeton Sentry Ginkgo	<i>Ginkgo biloba</i> 'Princeton Sentry'	narrow upright pyramid form, male only (no fruit), slow recovery from transplant
Red Maple	<i>Acer rubrum</i>	upright oval shape, fast growing and tolerant
Red Oak	<i>Quercus rubra</i>	round in shape with bristle tipped leaves, tolerates pollution and compacted soil
Skyline Honeylocust	<i>Gleditsia triacanthos inermis</i> 'Skyline'	ascending branches, strong central leader filtered shade, winter tip dieback possible
Sugar Maple	<i>Acer saccharum</i>	oval shape, vibrant fall leaves, tolerates shade and most soils

**Amend the Code for Mobile Food Vending Units and Outdoor Temporary Retail Sales and Service Areas. The Planning Commission has reviewed these sections once, and these proposed changes are per discussion, and additional staff review.**

## Article 2 Definitions

**(??) Mobile food vending unit:** Shall mean vending, serving, or offering for sale food and/or beverages from a mobile food vending unit; or vending, serving, or offering for sale food and/or beverages prepared for consumption in a mobile food vending unit; may include the ancillary sales of branded items consistent with the food, such as a tee shirt that bears the name of the organization engaged in mobile food vending. The Zoning Administrator may interpret similar devices that serve the same purpose to be mobile vending units.

**(??) Motor Vehicle:** As defined in the Michigan Motor Vehicle Code, 1949 PA 300, as amended, MCL 257.1 et seq.

## Section 54.638 Outdoor Temporary Retail Sales and Service Areas

~~(A) Temporary retail sales and service areas, for approved commercial land uses, may be permitted to occupy not more than twenty five percent (25%) of the existing or required parking spaces on the site, for a total of not more than 120 days in any 12-month period. The location of sales merchandise, service area and/or temporary structures shall not interfere with pedestrian accessibility, traffic patterns, or access to remaining parking spaces. Prior to placement of merchandise, service area, or erection of temporary structures, the Zoning Administrator must be notified of the~~

~~date of removal. The location and construction of all temporary structures (including tents) erected in association with the temporary sale of merchandise shall require the approval of the Zoning Administrator and the Fire Administrator through a zoning permit if a City Clerk License is not required. It is the responsibility of the business owner to contact the Building Code Administrator to determine if a building permit is required.~~

- ~~(B) Mobile Food Vending Units per Chapter 35 of the City Code are exempt from [Section 54.638\(A\)](#).~~
- ~~(C) Temporary sales areas that require a person to obtain a license from the City Clerk's Office are exempt from obtaining a Zoning Compliance Permit, but must meet the requirements of [Section 54.638\(A\)](#).~~
- ~~(D) Temporary outdoor sales and display of merchandise in conjunction with Marquette Downtown Development Authority sanctioned events are exempt from [Section 54.638\(A\)](#) but must be removed at the conclusion of the event.~~
- ~~(E) Temporary outdoor sales for non-commercial land uses which are an accessory use of property, such as yard/garage sales and children's lemonade sales, are authorized with the permission of the property owner. Such sale events may occur on a singular property up to 10 times per year and no more than 4 times per month.~~

## **PROPOSED REWRITE OF THE SECTION.**

### **(A) Conditions.**

- (1) Temporary retail sales and service areas, for approved commercial land uses, may be permitted to occupy not more than twenty-five percent (25%) of the required parking spaces on the site, for a total of not more than 120 days, whether consecutive or non-consecutive, in any rolling twelve (12) month period.**
- (2) The location of sales merchandise, service areas, and/or temporary structures shall not interfere with pedestrian accessibility, vehicular mobility, traffic patterns, emergency access, or access to remaining parking spaces, and shall otherwise comply with the Land Development Code.**
- (3) Prior to placement of merchandise, establishment of service areas, or erection of temporary structures, the Zoning Administrator shall be notified of the anticipated dates of installation and removal for purposes of monitoring compliance with the time limitations of this section.**

### **(B) Temporary Structures and Permits.**

- (1) The location and construction of all temporary structures, including tents, erected in association with temporary retail sales or services shall require approval by the Zoning Administrator and the Fire Marshal through a Zoning Compliance Permit, unless a Business License from the City Clerk's Office is required pursuant to other provisions of the City Code.**

(2) It shall be the responsibility of the business owner to contact the Marquette County Building Code Administrator to determine whether a building permit is required.

**(C) Licensed Temporary Sales.**

(1) Temporary retail sales and service areas that require the operator to obtain a Business License from the City Clerk's Office are exempt from obtaining a Zoning Compliance Permit, but shall comply with the location, safety, and operational standards of [Section 54.638\(A\)](#).

**(D) Special Events.**

(1) Temporary outdoor sales and display of merchandise conducted in conjunction with events sanctioned by the Marquette Downtown Development Authority are exempt from the requirements of [Section 54.638\(A\)](#), provided all merchandise, structures, and displays are removed at the conclusion of the event.

**(E) Non-Commercial Temporary Sales.**

(1) Temporary outdoor sales for non-commercial land uses which are accessory to the use of property, including but not limited to yard sales, garage sales, and children's lemonade stands, are permitted with the consent of the property owner.

(2) Such events may occur on a single property no more than ten (10) times per calendar year and no more than four (4) times per month.

## New Section

### [Section 54.630 Mobile Food Vending Units \(MFVU\)](#)

**(A) Location.** MFVUs operating on private property shall be permitted only within an off-street parking lot serving an approved commercial land use located on the same zoning parcel, or within a shared parking lot that serves one or more approved commercial principal uses, and are prohibited within residential driveways or on parcels without an approved commercial principal use, unless otherwise expressly authorized by this Code. MFVUs shall operate only with the written permission of the property owner.

**(B) Duration Limitations.** A parcel may be used for MFVUs as an accessory use for a total of not more than 120 days, whether consecutive or non-consecutive, in any rolling twelve (12) month period. Any portion of a calendar day during which an MFVU is present on the parcel shall count as one (1) day toward the maximum duration. The 120-day limitation shall apply per zoning parcel, regardless of the number of MFVUs operating on the site. If the property owner seeks to exceed the duration limitation, the use may be permitted a longer duration upon approval of a special land use by the Planning Commission. Prior to placement of an MFVU, the Zoning Administrator shall be notified in writing of the anticipated dates of operation/and or storage

for purposes of monitoring compliance with the time limitations of this section. Hours of operation shall comply with the hours established by resolution of the City Commission, including any administrative allowances or extensions authorized therein.

**(1) Additional Special Land Use standards:**

- (i)** Landscaping and Screening shall be provided in accordance with [Article 10](#) of this Code.
- (ii)** Generator use for routine operations is prohibited. Electrical service shall be provided by the property owner in compliance with applicable building and safety codes.
- (iii)** Refuse containers shall be provided on site and serviced regularly and meet City Code requirements.
- (iv)** MFVU placement shall not impede pedestrian circulation, vehicular circulation, or ADA-compliant access routes.
- (v)** Signage shall meet City Code.

**(C) Mobile Food Vending (MFVU) on Private Property – Accessory Use (day use only; no overnight parking).** MFVUs that conduct sales on a site and are removed from the site each day shall obtain a Business License from the City Clerk’s office and must meet the parking requirements of [Section 54.903](#), and the duration limitations of [Section 54.630\(B\)](#), provided the use otherwise complies with the City Code and all applicable health, safety, and licensing requirements.

**(D) Mobile Food Vending (MFVU) on Private Property – Accessory Use (overnight or long-term temporary use).**

**(1)** MFVUs that remain or stored overnight on a site where sales are conducted shall obtain a Zoning Compliance Permit in addition to a Business License from the City Clerk’s Office. Such MFVUs shall comply with the parking requirements of [Section 54.903](#), and the duration limitations of [Section 54.630\(B\)](#), and all applicable provisions of the City Code and all applicable health, safety, and licensing requirements.

**(E)** MFVUs operating on private property shall maintain safe pedestrian and vehicular circulation and shall not obstruct access to required parking, loading areas, ADA-accessible routes, or emergency routes. If an MFVU is found to create circulation or safety hazards, the Zoning Administrator or Planning Commission, depending on the approval authority, may require relocation or removal of the unit.

**(F)** MFVUs shall meet all Federal, State and Local requirements.

## Section 54.903 Minimum/Maximum Number of Parking Spaces

Figure 53. Minimum/Maximum **Motor Vehicle** Parking Spaces by Land Use

Land Use	Minimum/Maximum Parking Requirement (standards show the parking minimums unless stated)
<b>(G) Retail Trade</b>	
<b>(3) Mobile Food Vending (MFVU) on Private Property – Accessory Use (overnight or long-term temporary use)</b>	One (1) space for MFVU parking; plus one (1) space for patron orders/pick-up adjacent to MVU, unless a suitable location for patrons to order is provided.
<b>(4) Mobile Food Vending (MFVU) on Private Property – Accessory Use (day use only, no overnight parking)</b>	One (1) space for MFVU parking; plus one (1) space for patron orders/pick-up adjacent to MVU, unless a suitable location for patrons to order is provided.

**The other sections of the code that discussed MVU that need to be amended.**

### Section 54.636 Outdoor Alcoholic Beverage Service

**(B) Outdoor Alcoholic Beverage Service on Private Property.** Outdoor alcoholic beverage service on private property is subject to the following requirements:

- (2) Mobile Food Vending Units.** Mobile Food Vending Units per ~~Chapter 35~~ of the City Code are not considered Outdoor Food and Beverage Service. Outdoor tables and chairs are considered Outdoor Food and Beverage Service, so if a mobile food vending unit proposed to add this to the site, then they must meet [Section 54.636](#) and submit a zoning permit for this use.

### Section 54.637 Outdoor Food and Non-Alcoholic Beverage Service

**(B) Outdoor Food and Non-Alcoholic Beverage Service on Private Property.** Outdoor food and nonalcoholic beverage service on private property is subject to the following requirements:

- (2) Mobile Food Vending Units.** Mobile Food Vending Units per ~~Chapter 35~~ of the City Code are not considered Outdoor Food and Beverage Service. Outdoor tables and chairs are considered Outdoor Food and Beverage Service, so if a mobile food vending unit proposed to add this to the site, then they must meet [Section 54.637](#) and submit a zoning permit for this use.

**Amend the definitions so One Triplex and One Quadplex do not get pushed into requiring off-street parking lot and create an accessory parking area definition.**

## Section 54.202 Specific Terms

(A) The following terms shall have the following meaning:

**(93) Hard Parking Surface:** For one- and two-family dwellings a hard parking surface shall comprise of compacted gravel at least six (6) inches in depth, concrete or asphalt pavement, pavers (pervious or impervious) or other products designed for parking. For all other uses, a hard parking surface shall exclude gravel with the exception that compacted gravel parking lots are allowed for *Land Intensive Recreational Uses*. The City Engineer may require minimum standards for hard parking surface (e.g., material depth, material specifications, construction techniques, etc.).

**(a)** For one- and two-family dwellings and for Parking Areas, Accessory, as defined in this Ordinance, including such parking serving triplexes and quadplexes where permitted, a hard parking surface may include compacted gravel at least six (6) inches in depth, concrete, asphalt pavement, pavers (pervious or impervious), or other products designed for parking.

**(b)** Except as provided in subsection (a), for all other uses, including Off-Street Parking Lots, a hard parking surface shall exclude gravel, with the exception that compacted gravel parking lots are permitted for *Land Intensive Recreational Uses*.

**(c)** The City Engineer may require minimum standards for material depth, material specifications, and construction techniques as necessary to ensure durability and safety.

**(???) Parking Area, Accessory:** A portion of a lot used for the parking of motor vehicles that is incidental and subordinate to a single principal building and that is accessed directly by a single driveway or vehicle access point, without the use of internal circulation aisles, shared parking spaces, or common maneuvering areas. An accessory parking area is not an off-street parking lot.

**(183) Parking Lot:** A durable, smooth, hard surfaced, and dust free area with well defined entrances and exit lanes for unencumbered access to individual parking spaces. See definition of "Hard Parking Surface." **Off Street Parking Lot or Parking Lot:** An area designed, improved, or used for the parking of motor vehicles that includes shared parking spaces, internal circulation aisles, drive aisles, or common maneuvering areas, and which is intended to function as a unified parking facility rather than as individual residential driveways or accessory parking areas. Where parking serves more than one principal building, such parking shall be classified as an Off-Street Parking Lot for purposes of this Ordinance.

**Amend so One triplex and One Quadplex are treated the same as a SFR and duplex**

## Section 54.403 Footnotes to Schedule of Regulations

### (S) Storm Water Management.

- (1) For ~~Single-family and Two-family dwelling units~~ **Parcels containing no more than four (4) total dwelling units**:
- (a) **Maximum Impervious Surface Coverage of a Lot in the LDR and MDR Districts, and single-family dwellings, and two-family dwelling units, triplex, and quadplex in other zoning districts:** The maximum impervious surface coverage of a lot in the LDR and MDR Districts, and single-family and two-family uses in all other zoning districts shall be based on the lot areas as follows:

**Figure 31. Maximum Impervious Surface Coverage for ~~one and two-family dwelling units~~ parcels containing no more than four (4) total dwelling units**

Maximum Impervious Surface Coverage Based on Lot Area
60% of the lot area up to 8,712 sq. ft. (1/5 acre or less);
50% of the area of the lot between 8,713 sq. ft. and 21,780 sq. ft. (1/2 acre);
40% of the area of the lot between 21,781 sq. ft. and 43,560 sq. ft. (1 acre);
30% of the area of the lot over 1 acre

- (2) For all uses except ~~Single-family and Two-family dwelling units~~ **parcels containing no more than four (4) total dwelling units**, please refer to [Section 54.803](#) Storm Water Management.
- (3) Rain gutters and downspouts may be required on new/reconstructed buildings to prevent **increased** stormwater runoff to adjoining private properties. They shall be installed where the finished grade will slope down from the closest wall of the new/reconstructed building to the adjoining property, with flow from the downspout directed to into the same property (e.g. into a rain barrel, a French drain, or to a transverse conduit leading to a location where stormwater will percolate into the original property).

---

**Amend this so Triplex and Quadplex in MFR are not applied at all**

## Section 54.615 Dwelling, Multiple Family and Apartments

- (A) Applicability.** This section applies only to multiple-family dwellings and apartment buildings **containing five (5) or more dwelling units.**

~~(A)~~ **(B) Separation Distances.** Multiple Family Dwellings and Apartment Buildings must meet the separation distance requirements of [Section 54.403\(H\)](#).

~~(B)~~ **(C) Minimum Setbacks and Maximum Height in the MFR District.** In addition to the setback and height requirements of [Section 54.402](#), multiple-family buildings in the MFR District must also meet the setback and height requirements of [Section 54.403\(M\)](#), if required.

~~(C)~~ **(D) Accessory Structures and Uses in the MFR District:** In the MFR District, the following requirements apply to multiple-family buildings and apartments with 5+ dwelling units:

**(1) Detached Accessory Buildings.** No detached accessory building may exceed 20 feet in height. Detached accessory building shall be located at least five (5) feet from the side and rear property lines and at least five (5) feet from a principal building. No detached accessory building shall be located in a front yard.

**(2) Attached Accessory Buildings.** Attached accessory building shall meet the yard requirements of the Schedule of Regulations ([Article 4](#)).

**(3) Swimming Pools.** Outdoor swimming pools shall not be located closer than ten (10) feet to any building or lot line. The pool must comply with [Section 54.707](#).

~~(D)~~ **(E) Maximum Lot Coverage and Minimum Outdoor Livability Space in the MFR District.** See [Section 54.403\(K\)](#).

~~(E)~~ **(F) Parking.** Parking, other than in structures, shall not occupy more than 40% of the lot area.

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**Amend this to clarify the exclusion of driveways and accessory parking areas from the calculation, as Article 9 already had a separate calculation.**

## **Section 54.705 Accessory Buildings and Structures**

All accessory buildings and structures must meet the setback and height requirements of [Article 4](#) unless otherwise stated in this Section or in another section of this Ordinance applicable to accessory buildings and structures. No accessory building or structure may be located on any parcel of land which does not have a principal building or use already established or being established contemporaneously with the accessory building or structure.

**(A) Accessory Buildings and Structures in the Low Density Residential (LDR) District, Medium Density Residential (MDR) District, and Mixed-Use (M-U) District.**

**(1) Attached Accessory Buildings and Structures.** Where the accessory building or structure is structurally attached to a main building, it shall be subject to, and must conform to, all yard regulations of this Ordinance, applicable to main building.

**(2) Location.** Detached accessory buildings or structures shall not be located in any required yard setback except as permitted in [Section 54.705\(A\)\(4\)](#).

**(3) Maximum Lot Coverage.** Detached accessory buildings or structures (such as concrete

or asphalt structures but excluding driveways and accessory parking areas – see [Article 9 for maximum rear yard coverage limits for driveways and accessory parking areas](#) shall not occupy more than twenty-five percent (25%) of a rear yard area, provided that in no instance shall the total ground floor area of the detached accessory buildings exceed the ground floor area of the main building and provided the impervious surface coverage limits of the lot (see [Article 4](#)) are not exceeded.

- (a) If the main structure’s footprint is less than 500 square feet at full build out, an accessory structure may exceed the ground floor area of the main structure (home) by up to 10 percent of the footprint area of the main structure. An accessory structure footprint may be increased to equal that of the main structure if the main structure is remodeled to more than 550 square feet.
- ~~(b) Patio pervious pavers that are used for accessory structures such as patios, sidewalks, etc. that allow infiltration are not included in the 25% calculation.~~

**PC Already approved change**

Accessory structures such as patios, sidewalks, stairs, decks, and similar features that allow water to infiltrate or do not have an impervious surface beneath, and are not covered by a roof or overhead covering that prevents water infiltration are excluded from the twenty-five percent (25%) rear yard area coverage limitation.

- (4) **Separation and Setback Distances.** No permanent accessory building or structure shall be located in a minimum front yard setback. No detached accessory building shall be located closer than five (5) feet to any main building nor closer than three (3) feet from a side or rear lot line, except swimming pools, which are regulated in [Section 54.707](#). Non-building accessory structures (e.g., fences and steps) or open buildings (i.e., a shelter without walls including an open lean-to or open carports) are not subject to the minimum separation distance requirements unless a minimum separation distance is required by the Building Official.
- (5) **Maximum Height.** Unless otherwise stated in this Ordinance, no attached or detached accessory building or structure in a the LDR, MDR, and M-U Districts shall exceed sixteen and one-half (16.5) feet in height. The height of Accessory Dwelling Units must comply with [Section 54.611](#).
- ~~(6) Shipping containers, cargo containers, or semi-trailers are prohibited as accessory structures.~~

**PC Already approved change**

(6) Shipping containers, cargo containers, and semi-trailers shall not be permitted as accessory structures unless all of the following conditions are met:

- (a) The structure is located within a Mixed-Use (M-U) Zoning District;
- (b) The structure does not abut or adjoin a residential use; and
- (c) A landscape buffer is installed in accordance with [Section 54.1003\(D\)\(3\)\(a\)\(i\)](#).

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**Amend this to add for one triplex and one quadplex to be treated the same as SFR and Duplex**

## Section 54.902 Parking Regulations

### (E) Parking Standards Applicable to Specific Zoning Districts.

- (1) ~~LDR and MDR Districts and single-family and two-family structures in other zoning districts~~ LDR and MDR Districts and single-family, two-family (duplex), triplex, and quadplex dwellings in other zoning districts.

This subsection shall apply only to parcels containing no more than four (4) total dwelling units. Where a parcel contains more than four (4) total dwelling units, parking shall be regulated in accordance with the applicable provisions for Off-Street Parking Lots.

Parking serving single-family dwellings, two-family dwellings (duplexes), triplex dwellings, and quadplex dwellings on parcels containing no more than four (4) total dwelling units that is provided by individual driveways or Accessory Parking Areas, as defined in this Ordinance, shall be subject only to the parking requirements expressly identified in this subsection.

- (a) **Definition of “Front Area.”** For the purposes of [Section 54.902\(E\)\(1\)](#) only, the “Front Area” is that area located between the edge of the physical street and the nearest point of the dwelling foundation (excluding open porch projections), projected parallel from the street.
- (b) **Off-Site Parking in the LDR and MDR Districts.** In the LDR and MDR districts, off- street parking may be located on a site other than the site to which it pertains, and within the City limits or in an adjacent township.
- (c) ~~**Maximum Rear Yard Paving.**~~ In the LDR and MDR districts, no more than 25% of the rear yard may be paved (including but not limited to asphalt or concrete, but with the exception of compacted gravel) for parking provided the impervious surface coverage limits of the lot (see [Article 4](#)) are not exceeded.

(c) **Rear Yard Driveway and Parking Area Coverage Limit.** Paved driveways and accessory parking areas may cover no more than 25% of the rear yard area (including but not limited to asphalt or concrete, but with the exception of compacted gravel), provided that the lot’s overall impervious surface coverage does not exceed the limits specified in [Article 4](#).

- (d) **“Front Area” Parking Limitations.** Parking in the front area is permitted only on an approved hard surface parking space and/or driveway, or in a garage (see definition of “Hard Parking Surface” in [Section 54.202\(A\)\(93\)](#)). Parking

spaces in the front yard area must be at least two (2) feet from the side lot line, at least two (2) feet from the inside edge of a sidewalk, and at least ten (10) feet from the edge of an established street. The encroaching driveways and parking spaces must be drained so as to dispose of all surface water accumulated in such a way as to preclude drainage of water onto adjacent property or toward adjacent buildings.

**(i) Front Yard Parking Waiver.** The Zoning Administrator may permit parking in a front area during the winter parking ban period for single-family or duplex dwelling units upon request for a Front Yard Parking Waiver for a limited time when the site cannot be altered without causing hardship on the property owner or if the property owner has relevant documented disabilities, or indefinitely in rare cases that the site cannot be reasonably altered to create one (1) additional parking space or a widened driveway. Self-created difficulties, such as adding renters and vehicles, are not applicable to the consideration for a Front Yard Parking Waiver.

**(e) Maximum Driveway Width and Paved Area.**

**(i)** Single-family uses:

**a.** For lots with one driveway - The maximum width of a driveway on a single frontage is 18 feet wide on a lot up to and including 60 feet in width, and 24 feet wide on a lot of more than 60 feet in width.

**b.** For lots with two driveways - On a lot 100 feet or more in width, the maximum width of both driveways combined is 36 feet wide on the same frontage.

**(ii)** Duplex/two-family uses, **Triplex, and Quadplex** - The maximum width of a driveway is 24 feet wide.

**(iii)** A driveway may be widened beginning at a point two (2) feet from the inside edge of a sidewalk or ten (10) feet from the edge of an established street without sidewalks, provided the hard parking surface areas of the driveway or driveways and parking spaces utilize no more than 30% of the front area for single-family dwelling units and no more than 40% of the front area for duplex dwelling units.

**(iv)** An application for the paving of more than 30% of the front area can only be accepted if a variance is first approved for the proposed paving pursuant to [Section 54.1404](#).

**(v)** On corner lots, there shall be two (2) front areas. For single-family dwelling units the overlapped area at the corner may be counted with either front area, but not both, (at the discretion of the property owner) and the two (2) front areas may not be combined for the purpose of exceeding the 30% maximum hard

parking surface within either front area. For duplex dwelling units, the overlapped area at the corner may overlap and be combined to utilize up to 40% of the front area for hard parking surfaces in either or both front areas.

- (f) **Maximum Number of Driveway Openings Per Site.** On lots with one (1) frontage, a maximum of two (2) driveway openings per site are permitted, provided the lot is at least 100 feet wide. On lots with more than one (1) frontage, a maximum of one (1) driveway opening per frontage is permitted, except on frontages of 100 ft. or more in length – upon which an additional driveway is allowable. All curb cuts and separation distances must meet the requirements of Chapter 42 of the Code of Ordinances (Streets, Sidewalks, and Other Public Places).
- (g) **Previously Approved Hard Parking Surface Residential Locations.** Hard parking surface residential parking locations approved under a previous ordinance are not subject to provisions of [Section 54.902\(E\)\(1\)](#) provided that the minimum safeguards are met for all parking uses where vision hazards and locations impact public safety.
- (h) **Driveway Separation Requirement at Side Lot Line.** New or expanded driveways must be separated from the side lot line by a minimum of 12 inches of pervious surface, including but not limited to turf grass or other ground cover plants, permeable pavers, or other stable cover materials. The requirement may be waived by the Planning Commission or Zoning Administrator, per relevant authority, if physical difficulties exist, such as the presence of a retaining wall along the lot line. This requirement is waived where existing paved driveways owned by neighbors are conjoined (but not necessarily shared) or otherwise meet at the property lines. However, eliminating shared driveways is encouraged to avoid maintenance disputes and other disagreements over time.
- (i) **Application of Parking Development Standards.** ~~All one- and two-family residential parking spaces shall be exempt from the standards of [Section 54.905](#), except that site plans drawn to scale shall be submitted to the Zoning Administrator for review and approval for creation of driveways or parking spaces. Parking spaces may be on pavers or other hard parking surfaces that have an unpaved strip between the surfaces supporting the wheels. For purposes of providing required parking spaces onsite, the minimum dimensions for residential parking spaces shall be nine (9) feet wide by eighteen (18) feet long. Driveways in the front yard must be a full-width hard parking surface. Curb cut and driveway permits shall be obtained from the City Engineer when curb cuts are made or modified or if there is any work in the right-of-way for a driveway.~~
  - a. Curb cut and driveway permits shall be obtained from the City Engineer when curb cuts are made or modified or if there is any work in the right-of-way for a driveway. Must meet current Engineering Design standards.
  - b. Parking spaces serving parcels containing no more than four (4) total dwelling units shall be exempt from the standards of [Section 54.905](#) where such parking is provided by individual driveways or Accessory Parking Areas, as defined in this Ordinance. Site plans drawn to scale shall be submitted to the Zoning Administrator for review and approval for the creation of driveways or parking spaces. Parking spaces may be on pavers or other hard parking surfaces that have an unpaved strip

between the surfaces supporting the wheels. For purposes of providing required parking spaces onsite, the minimum dimensions for residential parking spaces shall be nine (9) feet wide by eighteen (18) feet long. Driveways in the front yard must be a full-width hard parking surface.

- c. Where triplex or quadplex dwellings, or a combination of such dwellings, are served by an off-street parking lot as defined in [Article 2, Section 54.905](#) shall be met.

**Amendment to call out the total number of residential units on a parcel would require site plan review. Currently someone could build several triplexes and quadplexes and not have to go through SPR, but if a 5 or more dwelling unit was built on one parcel it would be required.**

### Section 54.1402 Site Plan Review

- (A) **Uses Subject to Site Plan Review, Minor Site Plan Review, and Exemptions.** The required review process for uses and development is described in [Figure 64](#). All uses and development, regardless of whether site plan review is required, are subject to the Zoning Compliance review requirements of [Section 54.1401](#). The Zoning Administrator may approve or conditionally approve site plans that meet the standards herein, as described in [Figure 64](#) and [Section 54.1402\(D\)\(1\)](#), with the exception of those for Special Land Uses, Planned Unit Developments, and those for any commercial development (incl. multi-family dwellings) that is:
- (1) proposed to have either a footprint area of 16,000 square feet or greater, or a gross floor area of 40,000 sq. ft. or greater.
  - (2) proposed to have more than 20 dwelling units or lodging rooms.
  - (3) recommended by the Zoning Administrator or City Attorney for review by the Planning Commission.

**Figure 64. Required Review Process Based on Development Activity**

Development Activity	Site Plan Review Required by P.C.	Minor/Admin Site Plan	Exempt From Site Plan Review
Special land uses	●		
Planned Unit Developments	●		
New building construction totaling more than either 16,000 sq. ft. in footprint area or 40,000 sq. ft. in gross floor area.	●		
<b>AMEND EXISTING</b> New construction for multi-family residential units that contain or will contain more than twenty (20) dwelling units.	●		
<b>PROPOSED AMENDMENT</b> New construction for multi-family residential units that contain or will contain more than twenty (20) dwelling units <u>total on one parcel</u> .	●		

Site Condominium development – New, amendment, or expansion	•		
Additions, alterations, non-residential and multi-family accessory structures, and renovations that are more than 16,000 sq. ft. in footprint area or 40,000 sq. ft. in gross floor area.	•		
Filling a parcel of land to an elevation above the established grade of adjacent developed land.		•	
<b>AMEND EXISTING</b> New construction, additions, alterations, or site improvements for multi-family residential units that contain or will contain five (5) to twenty (20) dwelling units, and for multi-family residential additions, alterations, or site improvements that are not otherwise exempt (as stated below), unless site plan review is required due to size criteria being met.		•	
<b>PROPOSED AMENDMENT</b> New construction, additions, alterations, or site improvements for multi-family residential units that contain or will contain five (5) to twenty (20) dwelling units <b>total on one parcel</b> , and for multi-family residential additions, alterations, or site improvements that are not otherwise exempt (as stated below), unless site plan review is required due to size criteria being met.		•	
<b>Development Activity</b>	<b>Site Plan Review Required by P.C.</b>	<b>Minor/Admin Site Plan</b>	<b>Exempt From Site Plan Review</b>
Conversion of an existing building or part thereof from a residential use to a non-residential use, including site improvements that result from a change in the use of the building or part thereof from residential use to nonresidential use.		•	
Additions, alterations, non-residential and multi-family accessory structures, Solar Energy Systems ≥20kw to 2 MW – Accessory Use, Solar Energy Systems ≥20kw to 2 MW – Principal Use, and renovations that are more than 10% of the size of the original commercial or multi-family residential building footprint or more than 500 square feet, unless otherwise exempt.		•	
Relocation of a building approved via Site Plan Review, with associated utilities.		•	
Any expansion or change in an existing land use if more parking in addition to that already provided is required.		•	
Any earthwork greater than 20,000 square feet in size for a non-residential use; or earthwork that is more than half the size of the parcel upon which commercial, industrial, mixed-use or multi-family land use is occurring or intended.		•	
Site improvements of more than 2,000 square feet that include landscaping, site access, and parking lot grading, layout, and new off-street parking, unless the activity is exempt		•	
Commercial and non-residential buildings less than 16,000 square feet, unless the activity requires site plan review		•	
Condominium development – New, amendment, or expansion		•	
If only adding a new driveway to an existing off-street parking lot and not affecting the parking lot.			•
<b>DELETE EXISTING</b> Single-family dwellings and their accessory facilities on individual parcels			•

Two-family dwellings and their accessory facilities on individual parcels			•
Multi-family residential units that contain or will contain three (3) or four (4) dwelling units.			•
<b>PROPOSED NEW</b>			•
<b>Total of four (4) or fewer dwelling units on one parcel and their accessory facilities</b>			
Additions, alterations, non-residential and multi-family accessory structures, Solar Energy Systems <20kw – Accessory Use, and renovations that are up to 10% of the size of the original industrial, commercial or multi-family residential building footprint or up to 500 square feet.			•
Relocation of a building approved via a site or plot plan, no corresponding utilities.			•
Interior remodeling or interior construction			•
Landscaping that is less than 25% of the parcel size or 2,000 square feet			•
Site improvements that are less than 2,000 square feet, and site lighting, unless the activity requires site plan review or minor site plan review			•
Alterations to exterior walls such as window openings, façade changes, etc., provided there is no change to the building footprint			•
Re-paving of an off-street parking lot, provided there are no grading changes and no changes to the configuration of the parking lot layout			•